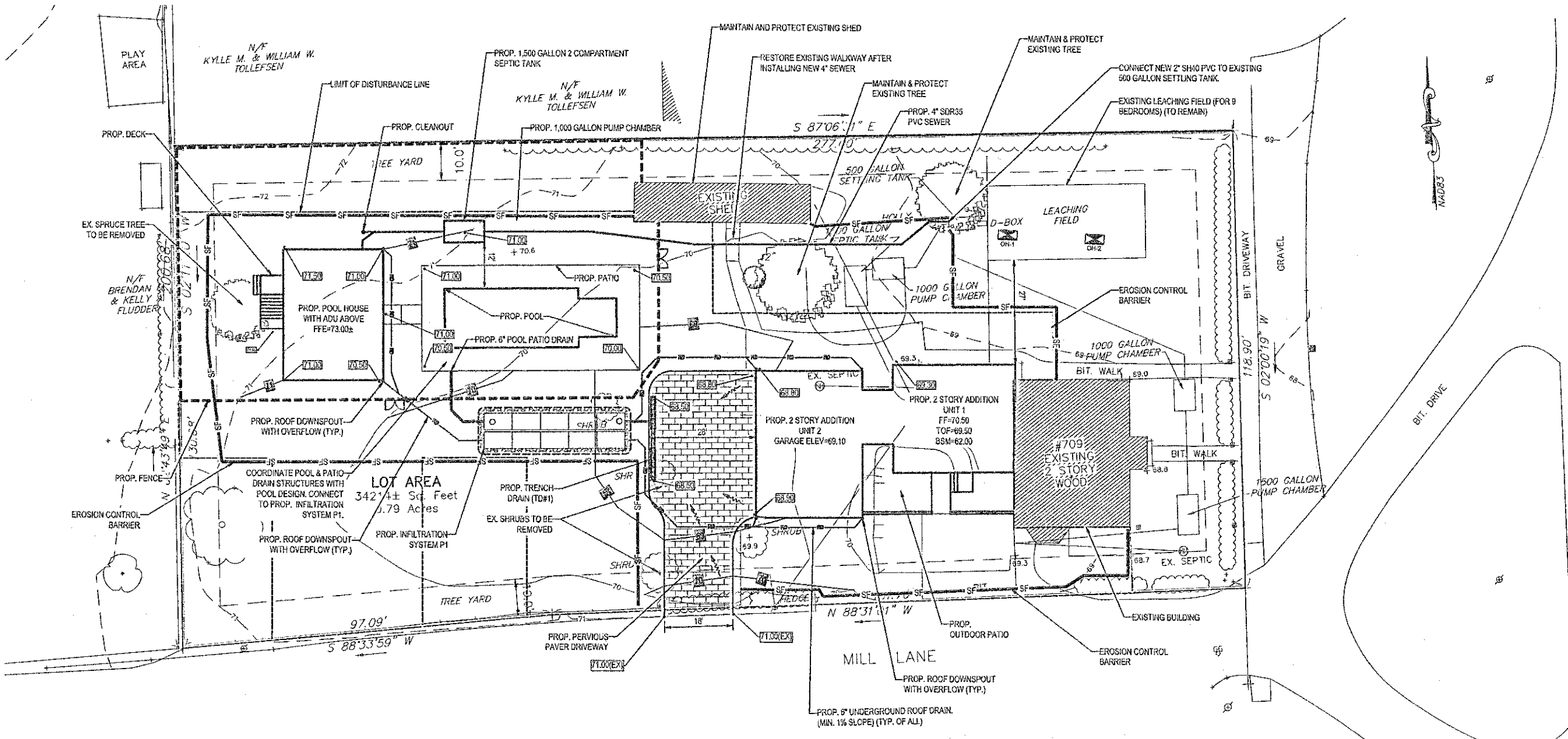
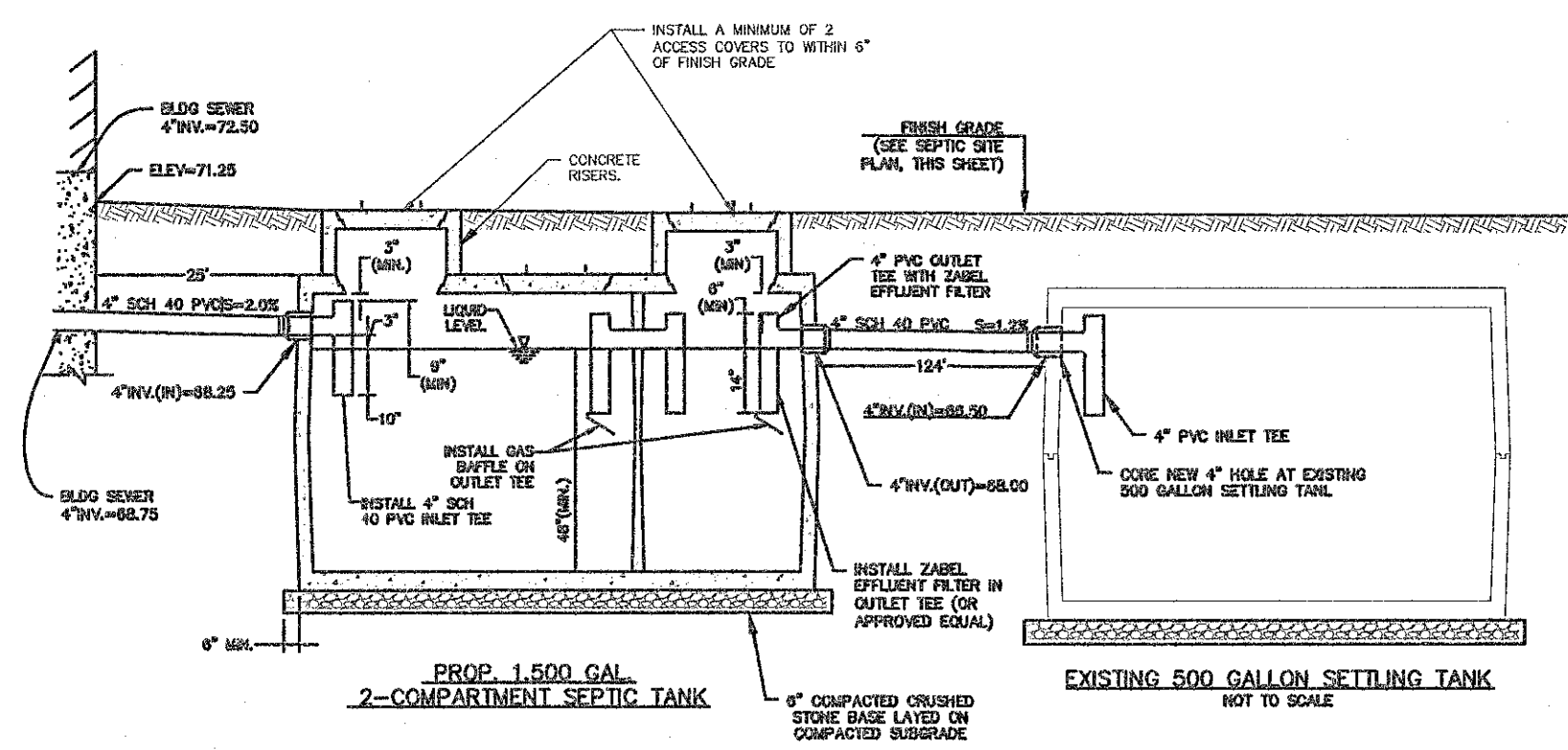




DRAINAGE SCHEDULE	
UNDERGROUND INFILTRATION DETENTION SYSTEM P1 (2 X 10 LAYOUT)	TRENCH DRAIN (TD) #1
CULTEC 330 XLHD CHAMBERS	RIM: 69.50
BOTTOM OF STONE: 65.00	INV(0.8'): 68.25
TOP OF CHAMBER: 67.50	
TOP OF STONE: 68.00	
INV(IN:8'): 68.00	
INV(IN:8'): 68.00	

PLAN CALCULATIONS	
IMPERVIOUS CALCULATION:	
- EXISTING IMPERVIOUS:	3,290 SF
- ROOF =	2,594 SF
- DRIVEWAY =	430 SF
- TOTAL =	6,314 SF
- PROPOSED IMPERVIOUS:	
- ROOF =	4,693 SF
- DRIVEWAY =	1,485 SF
- WALKWAY/PATIO =	1,560 SF
- POOL PATIO =	1,615 SF
- TOTAL =	9,353 SF
IMPERVIOUS INCREASE = 3,069 SF	
*1,485 SF OF PROPOSED DRIVEWAY IS PERVIOUS PAVERS	
TOTAL IMPERVIOUS AREA TO BE FULLY RECHARGED BY INFILTRATION SYSTEM P1 IS 5,168 SF	
AREA OF LAND DISTURBANCE: 19,311± SF	

- PLAN NOTES**
- PROPOSED GRADING, DRAINAGE & UTILITY PLAN SHALL BE UTILIZED FOR THE GRADING, DRAINAGE AND UTILITY CONSTRUCTION. REFER TO SITE PLAN AND ARCHITECTURAL PLANS FOR BUILDING DESIGN AND LAYOUT.
 - CONTRACTOR SHALL COORDINATE WITH THE TOWN OF PINCHAM DPW AND ENGINEERING DEPARTMENT PRIOR TO THAT START OF CONSTRUCTION ACTIVITIES.
 - ALL PROPOSED UTILITIES SHALL COMPLY WITH THE TOWN OF HINGHAM STANDARDS.
 - CONTRACTOR SHALL COORDINATE WITH TOWN OF HINGHAM PRIOR TO MAKING ANY CONNECTIONS WITHIN THE RIGHT OF WAY.
 - COORDINATE WITH LOCAL GAS AND ELECTRIC COMPANY FOR FINAL GAS AND ELECTRIC LOCATIONS.
 - PROPOSED AREA DRAINS WITHIN THE FOOTPRINT OF THE POOL PATIO AREA SHALL BE ADS "DRAIN BASIN GRATES SHALL BE CAST IRON GRATE OR APPROVED EQUAL.
 - ALL PROPOSED DRAIN PIPE SHALL BE ADS N12 PVC UNLESS OTHERWISE NOTED
 - ALL DOWNSPOUTS SHALL HAVE LEAF FILTER SCREEN WITH IN-LINE CLEANOUT & OVERFLOW AT EACH DOWNSPOUT LOCATION
 - ANY TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL SHALL BE EXCAVATED AND REMOVED FROM BELOW THE FOOTPRINT OF THE PROPOSED UNDERGROUND INFILTRATION SYSTEM UNTIL PARENT MATERIAL IS OBSERVED. BACKFILL AS REQUIRED WITH CLEAN GRANULAR SAND FREE FROM ORGANIC MATERIALS AND SILTS.
 - AT THE END OF CONSTRUCTION ACTIVITIES ALL DRAINAGE STRUCTURES SHALL BE CLEANED.
 - NO MODIFICATIONS TO THE APPROVED SITE PLANS SHALL BE MADE WITHOUT THE AUTHORIZATION OF THE DESIGN ENGINEER. A REVISED SITE PLAN OR SKC WILL BE ISSUED BY THE DESIGN ENGINEER OF RECORD PRIOR TO ANY CHANGES BEING IMPLEMENTED.
 - COORDINATE WITH LOCAL ELECTRIC COMPANY REGARDING NEW ELECTRIC CONNECTION FOR PROPOSED ADDITION AND ADU.
 - PERMIT WITH THE BOARD OF HEALTH WILL BE REQUIRED FOR THE PROPOSED POOL HOUSE/ADU BUILDING.

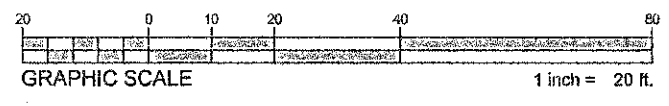


SECTION THROUGH SEWAGE DISPOSAL SYSTEM

Soil Logs

Equipment	Observation Hole #1	Equipment	Observation Hole #2
67.7	67.7	67.9	67.9
68.4	68.4	68.6	68.6
65.0	65.0	65.0	65.0
62.7	62.7	62.9	62.9
59.3	59.3	59.3	59.3

NOTE: RECORD SOILS DATA SHOWN HEREON ARE DERIVED FROM THE APPROVED SEPTIC PLAN PREPARED BY McS ENVIRONMENTAL ENGINEERING FOR 709 MAIN ST HINGHAM MA, DATED MARCH 24, 2025. OBSERVATION HOLES AND PERCOLATION TEST PERFORMED BY TERENCE MCSWEEENEY ON JANUARY 23, 2025



102 State Rd | Unit # F
North Dartmouth, MA 02747
Tel: (508)-730-9515

MICHAEL AHERN
709 MAIN STREET
HINGHAM, MA 02043

Owner/Applicant

Consultant:

FOR PERMIT

Issue type

709 MAIN STREET
HINGHAM MA
(PARCEL ID: 126/0/52)

Date	Description	By	REV

PROPOSED
SITE IMPROVEMENTS
FOR 709 MAIN ST

GRADING,
DRAINAGE & UTILITY
PLAN

Drawing title

Project No. 26021	Checked AK	Date 6.15.2026
Designed BB	Approved AK	Scale AS SHOWN
Drawing No.		

C-1

