

	ENLARGED DETAIL REFERENCE NUMBER SHEET NUMBER		CEILING 10'-0"		DATUM POINT LOCATION ELEVATION		EXIT SIGN		EXISTING PARTITION
	SECTION DETAIL REFERENCE I.D. SHEET NUMBER		A1.3		MATCH LINE SHEET NUMBER		EMERGENCY LIGHT		DEMOLITION PARTITION
	ELEVATION REFERENCE I.D. SHEET NUMBER				REVISION INDICATOR REVISION NUMBER		ANSUL SYSTEM SWITCH		NEW PARTITION
	INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER REFERENCE I.D.				PARTITION INDICATOR PARTITION TYPE		SMOKE DETECTOR		FIRE RATED PARTITION
	WINDOW SYMBOL REFERENCE NUMBER						CARBON MONOXIDE & SMOKE COMBO DETECTOR		
	CEILING HEIGHT KEY HEIGHT MATERIAL TYPE				FIRE DOOR SYMBOL 90MIN FIRE RATED DOOR (3HR FIRE WALL)		HEAT DETECTOR		
					FIRE DOOR SYMBOL 60MIN FIRE RATED DOOR (2HR FIRE WALL)		OUTSIDE BEACON		
					FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL)		HORN		
							STROBE ONLY		
							PULL STATION WHORN		
							FLOOR DRAIN		
							FIRE EXTINGUISHER		

ACI	ACCENT BUILT-IN	FAO	FINISHED ALL OVER	MAX	MAXIMUM	RM	ROOM
ACT	ACUSTIC CEILING TILE	FE	FIRE EXTINGUISHER	MB	MERCHANDISE BAY	RO	ROUGH OPENING
AF	ABOVE FINISH FLOOR	FEC	FIRE EXTINGUISHER CABINET	MDO	MEDIUM DENSITY OVERLAY	SBC	STANDARD BUILDING CODE
ALL	ALUMINUM	FIN	FINISH	MECH	MECHANICAL	SCH	SCHEDULE
AVG	AVERAGE	FT	FEET	MFR	MANUFACTURER	SECT	SECTION
BD	BOARD	FL	FLOOR	MIN	MINIMUM	SHT	SHEET
BLDG	BUILDING	FLUOR	FLUORESCENT	MISC	MISCELLANEOUS	SIM	SIMILAR
BOCA	BUILDING OFFICIALS CODE ADMINISTRATION	FRT	FIRE RETARDANT TREATED	MOLD	MOLDING	SF	STRUCTURAL METAL FRAMING
		FS	FULL SIZE	MO	MASONRY OPENING	SPCS	SPECIFICATIONS
BR	BRASS	FSU	FREE STANDING UNIT	MR	MOISTURE RESISTANT	SQ	SQUARE
BRZ	BRONZE	FURN	FURNISH	MTL	METAL	SQ FT	SQUARE FEET
CAB	CABINET	FW	FEATURE WALL	MULL	MULLION	SQ IN	SQUARE INCHES
CH	CHROME	GA	GAUGE	NAT	NATURAL	SS	STAINLESS STEEL
CL	CENTER LINE	G.C.	CONTRACTOR	NIC	NOT IN CONTRACT	STD	STANDARD
CLG	CEILING	GL	GLASS	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	SUSP	SUSPENDED
CLR	CLEAR	GRG	GLASS REINFORCED GYPSEUM	NO	NUMBER	SYS	SYSTEM
CMU	CONCRETE MASONRY UNIT	GWB	GYPSEUM BOARD	NOM	NOMINAL	T	THICK
COL	COLUMN	H	HEIGHT	NTS	NOT TO SCALE	T&G	TONGUE AND GROOVE
CONC	CONCRETE	HC	HOLLOW CORE	OC	ON CENTER	TEL	TELEPHONE
CONST	CONSTRUCTION	HDW	HARDWARE	OFI	OWNER FURNISHED ITEM	TEMP	TEMPERATURE
CONT	CONTINUOUS	HDWD	HARDWOOD	OPNG	OPENING	TR	TREAD
D	DEEP	HCR	HORIZONTAL	OPP	OPPOSITE	TP	TYPICAL
DEMO	DEMOLITION	HR	HANGRAIL	PL	PLASTIC LAMINATE	UBC	UNIFORM BUILDING CODE
DET	DETAIL	IN	INCH	PLBG	PLUMBING	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	INSUL	INSULATION	PLYWD	PLYWOOD	UR	URINAL
DIV PNL	DIVIDER PANEL	INT	INTERIOR	PNL	PANEL	VB	VAPOR BARRIER
DWG	DRAWING	JB	JUNCTION BOX	PT	PRESSURE TREATED	VIF	VERIFY IN THE FIELD
EA	EACH	L	LONG	QTY	QUANTITY	W	WIDE
ELEC	ELECTRIC	LAV	LAVATORY	R	RADIUS	WC	WATER CLOSET
EQ	EQUAL	LIN	LINEAR	REF	REFERENCE	WD	WOOD
EST	ESTIMATE	LL	LANDLORD	REQD	REQUIRED	WI	WROUGHT IRON
EXIST	EXISTING	LT	LIGHT	REV	REVISION	WT	WEIGHT
		LTG	LIGHTING			W/O	WITHOUT

1. ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE. THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
2. PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. IF THE FAULT OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
3. CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
4. INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.
5. ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICE OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.
6. THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.
7. THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E. OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.

CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.

8. G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
10. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
11. IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
12. CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
13. CONTRACTOR SHALL ENSURE THAT MEMBRANE ROOFING MANUFACTURE'S REPRESENTATIVE IS PRESENT ON SITE DURING INSTALLATION OF THE ENTIRE ROOF.
14. ROOF SLOPES AS NOTED ON DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SLOPES AND SUBMIT TO DESIGNER ALL EXISTING ELEVATIONS PRIOR TO INSTALLATION OF INSULATION. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE MINIMUM SLOPES TOWARDS ROOF FRAMING AS NOTED. USE TAPERED INSULATION AT FLAT AREAS AS REQUIRED TO ACHIEVE POSITIVE SLOPES.
15. COMPLETE SYSTEM WARRANTIES INCLUDING ROOFING, INSULATION AND OTHER RELATED ITEMS ARE REQUIRED FOR THIS PROJECT. REFER TO MANUFACTURER'S SPECIFICATION.
16. DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
17. UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.
18. USE ONLY MASONRY MATERIALS FOR MASONRY PATCHING AND USE ONLY ROOFING MATERIALS FOR ROOF WORK.

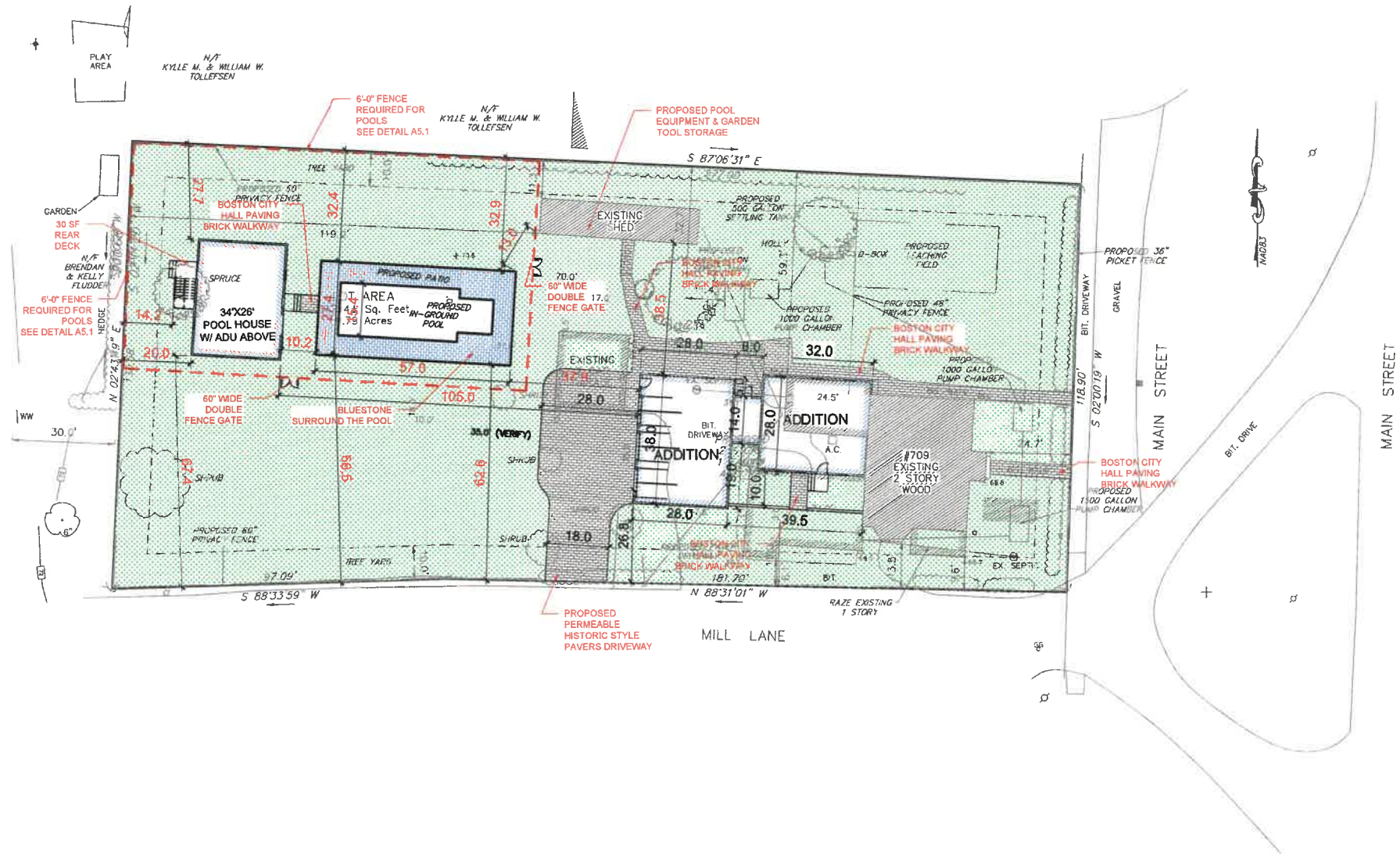
A4.7	ARCHITECTURAL DETAILS	SHEET	24
A4.8	ARCHITECTURAL DETAILS	SHEET	25
A4.9	ARCHITECTURAL DETAILS	SHEET	26
A5.1	PROPOSED WORK DETAILS	SHEET	27
S1.0	STRUCTURAL NOTES & DETAILS	SHEET	28
S1.1	FOUNDATION PLAN	SHEET	29
S1.2	FRAMING PLAN	SHEET	30
S1.3	FRAMING PLAN	SHEET	31
S1.4	FRAMING PLAN	SHEET	32
S1.5	FRAMING PLAN	SHEET	33

A0.1	TITLE SHEET	SHEET	1
A1.0	PROPOSED ARCHITECTURAL SITE PLAN	SHEET	2
A1.1	DEMOLITION FLOOR PLAN	SHEET	3
A1.2	DEMOLITION FLOOR PLAN	SHEET	4
A1.3	DEMOLITION FLOOR PLAN	SHEET	5
A1.4	DEMOLITION FLOOR PLAN	SHEET	6
A1.5	DEMOLITION FLOOR PLAN	SHEET	7
A1.6	PROPOSED FLOOR PLAN	SHEET	8
A1.7	PROPOSED FLOOR PLAN	SHEET	9
A1.8	PROPOSED FLOOR PLAN	SHEET	10
A1.9	PROPOSED FLOOR PLAN	SHEET	11
A1.10	PROPOSED FLOOR PLAN	SHEET	12
A2.1	EXISTING ELEVATIONS	SHEET	13
A2.2	EXISTING ELEVATIONS	SHEET	14
A2.3	PROPOSED ELEVATIONS	SHEET	15
A2.4	PROPOSED ELEVATIONS	SHEET	16
A3.1	WALL SECTION & PARTITION DETAILS	SHEET	17
A4.1	PROPOSED FRONT PERSPECTIVE VIEW	SHEET	18
A4.2	PROPOSED PERSPECTIVE VIEW	SHEET	19
A4.3	PROPOSED PERSPECTIVE VIEW	SHEET	20
A4.4	PROPOSED PERSPECTIVE VIEW	SHEET	21
A4.5	PROPOSED PERSPECTIVE VIEW	SHEET	22
A4.6	PROPOSED FRONT STREET VIEW	SHEET	23

EXISTING CONDITION	
ATTIC @ 7'-3" CEILING HEIGHT OR MORE	316 SF +/-
2ND FLOOR	2,326SF +/-
1ST FLOOR	2,519 SF +/-
TOTAL GROSS LIVING AREA	5,161 SF +/-
BEDROOM	7
FULL BATHROOM	4
PROPOSED MAIN HOUSE CONDITION	
ATTIC @ 7'-3" CEILING HEIGHT OR MORE	316 SF +/-
2ND FLOOR	3,158 SF +/-
1ST FLOOR	2,359 SF +/-
ATTACHED GARAGE	944 SF +/-
TOTAL GROSS LIVING AREA	6,787 SF +/-
BEDROOM	7
FULL BATHROOM	5
HALF BATHROOM	1

DISTRICT: (RESIDENCE B)				
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED	COMPLIANCE OR VARIANCE
MIN. LOT SIZE	30,000 SF	34,214 SF +/-	34,214 SF +/-	COMPLIANCE
MIN. FRONTAGE	150'	118.9'	118.9'	FINIDING
SETBACK				
MIN. FRONT YARD (MAIN ST)	35'	24.7'	24.7'	FINIDING
MIN. FRONT YARD (MILL LANE)	35'	8.1'	13.5'	FINIDING
MIN. SIDE YARD (MAIN ST SIDE)	20'	59.3'	59.3'	COMPLIANCE
MIN. SIDE YARD (MILL LANE SIDE)	20'	183.6'	150.6'	COMPLIANCE
MAX BUILDING HEIGHT	35'	28'-9" +/-	28'-9" +/-	COMPLIANCE
MAX. NUMBER OF STORY	2 ½STORIES	2 ½STORIES	2 ½STORIES	COMPLIANCE
MIN. PARKING SPACE	2 SPACES/ UNIT	2 SPACES/ UNIT	2 SPACES/ UNIT	COMPLIANCE

JCBT ARCHITECT			
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CONSULTANT			
REGISTRATION			
REVISIONS			
NO.	BY	DESCRIPTION	DATE
PROJECT			
EXISTING MULTI FAMILY ALTERATION & ADDITION			
709 MAIN ST. HINGHAM, MA			
PROJECT NO. 25065			
SHEET TITLE			
TITLE SHEET			
DRAWN: J.Z.	A0.1		
SCALE: NOTED			
DATE: 6/8/2025			
CHECKED:			
SHEET OF			



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NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL COMMENT	11/14/2025
2	BT	HISTORICAL COMMENT	01/02/2026
3	JZ	HISTORICAL COMMENT	01/02/2026
4	JZ	HISTORICAL COMMENT	02/09/2026
5	JZ	HISTORICAL COMMENT	03/09/2026

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
ARCHITECTURAL
SITE PLAN

DRAWN: K.T.J.Z

SCALE: NOTED

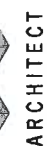
DATE: 05/14/2025

CHECKED:

SHEET OF

DRAWING NO:

A1.0



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[illegible]

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

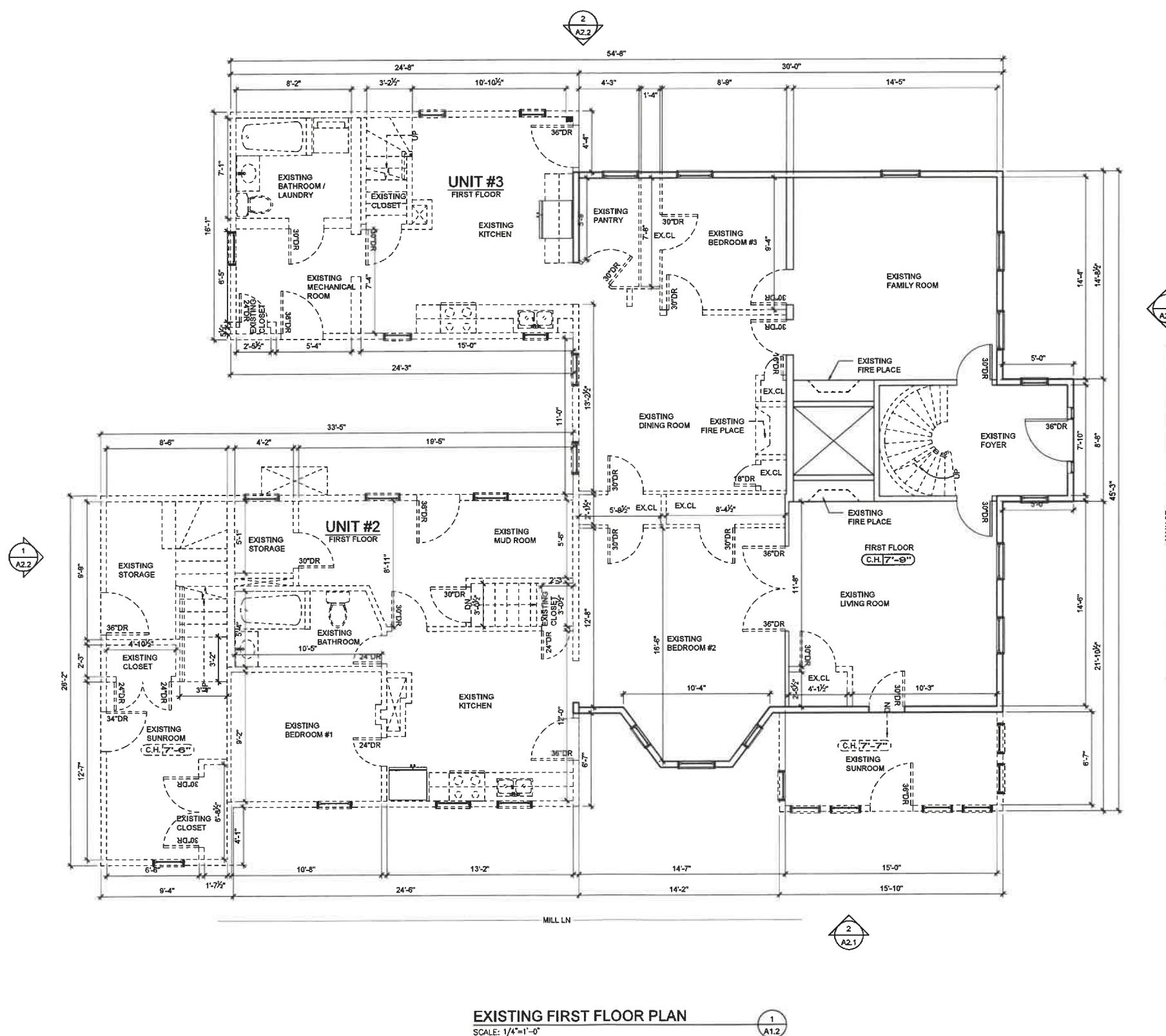
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

DEMOLITION
FLOOR PLAN

DRAWN: K.T.	DRAWING NO.
SCALE: NOTED	
DATE: 05/14/2025	
CHECKED:	
SHEET OF	A1.





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REVISIONS

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PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

DEMOLITION
FLOOR PLAN

DRAWN: K.T.

SCALE: NOTED

DATE: 05/14/2025

CHECKED:

SHEET OF

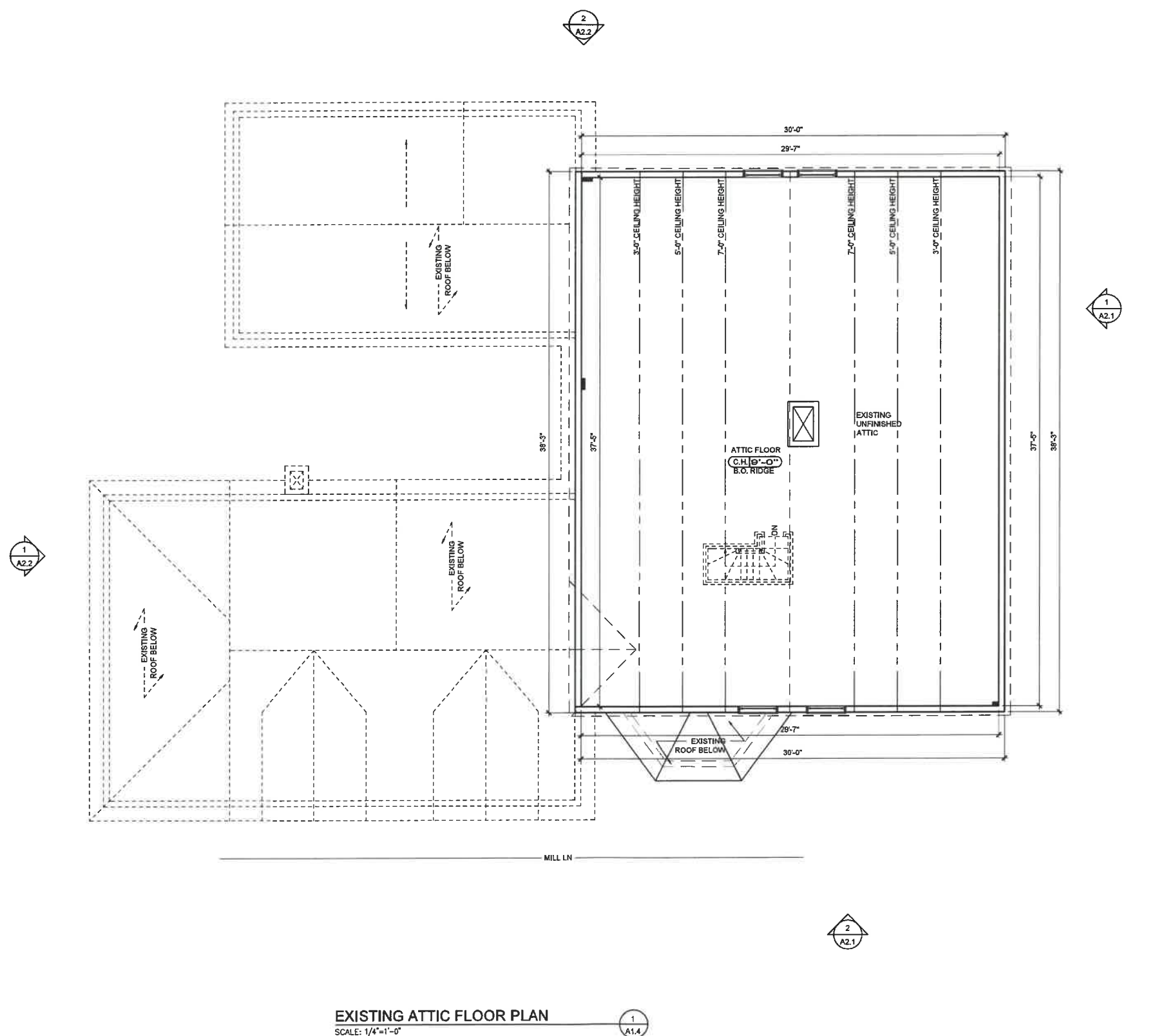
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025

A1.

A1.4



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REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL SUBMISSION #2	7/24/2025
2	JZ	HISTORICAL COMMENT	11/14/2025
3	JZ	HISTORICAL COMMENT	1/22/2026
4	JZ	HISTORICAL COMMENT	02/25/2026

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

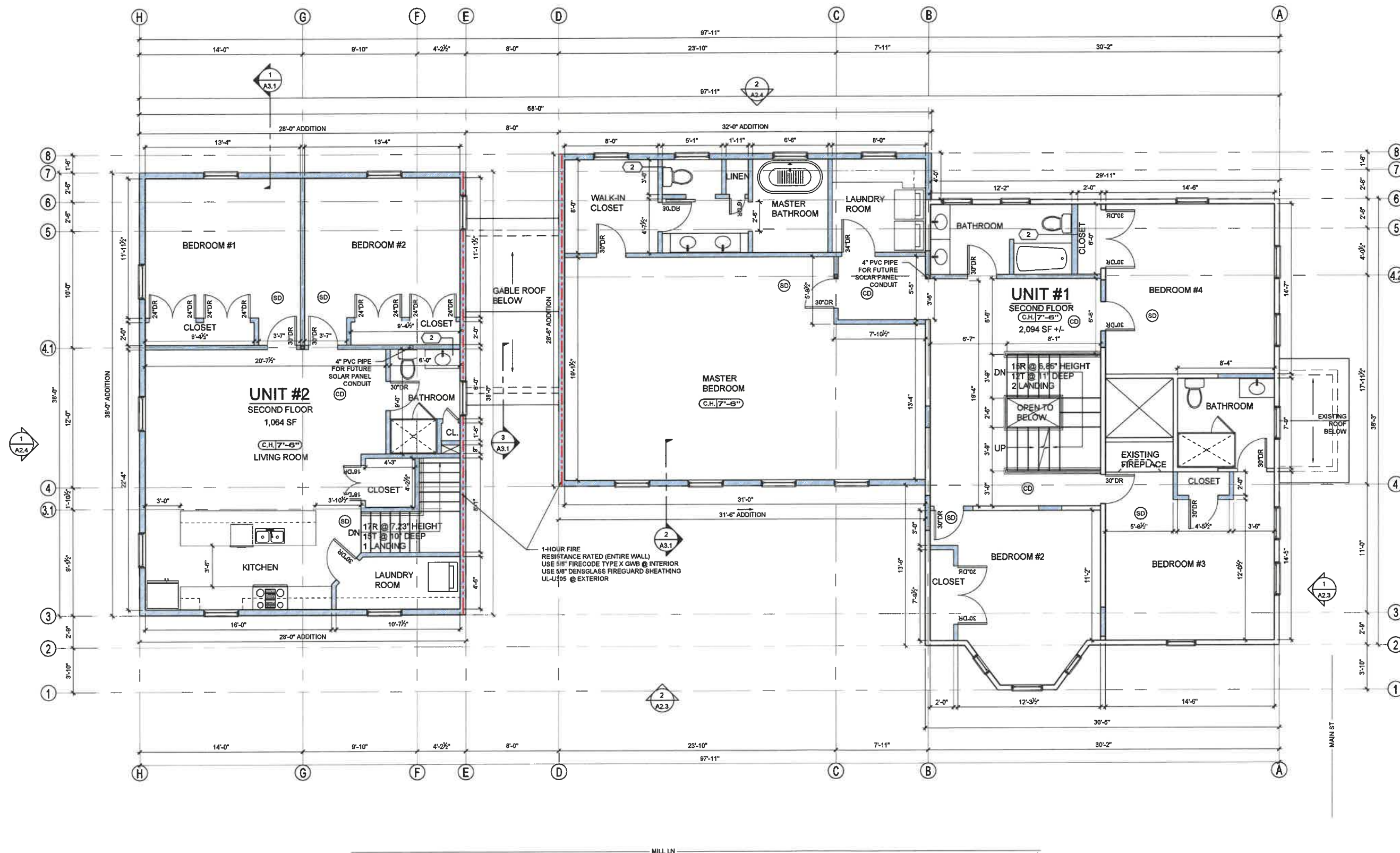
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
FLOOR PLAN

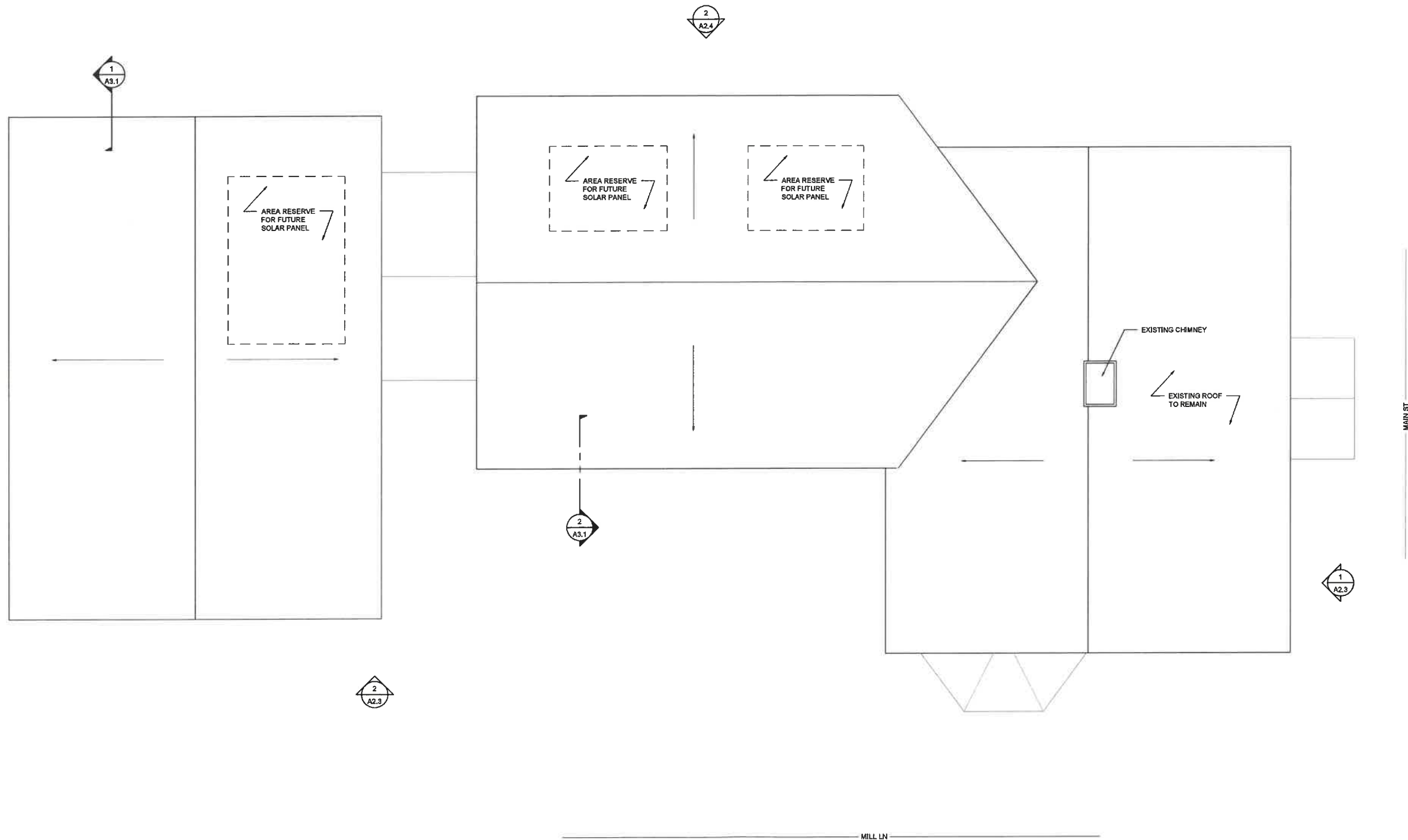
DRAWN: K.T./J.Z.	DRAWING NO:
SCALE: NOTED	
DATE: 05/14/2025	
CHECKED:	
SHEET OF	A1.8



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

1
A1.8



PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

1
A1.10



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NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL SUBMISSION #2	7/24/2025
2	JZ	HISTORICAL COMMENT	11/14/2025
3	JZ	HISTORICAL COMMENT	10/23/2026
4	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

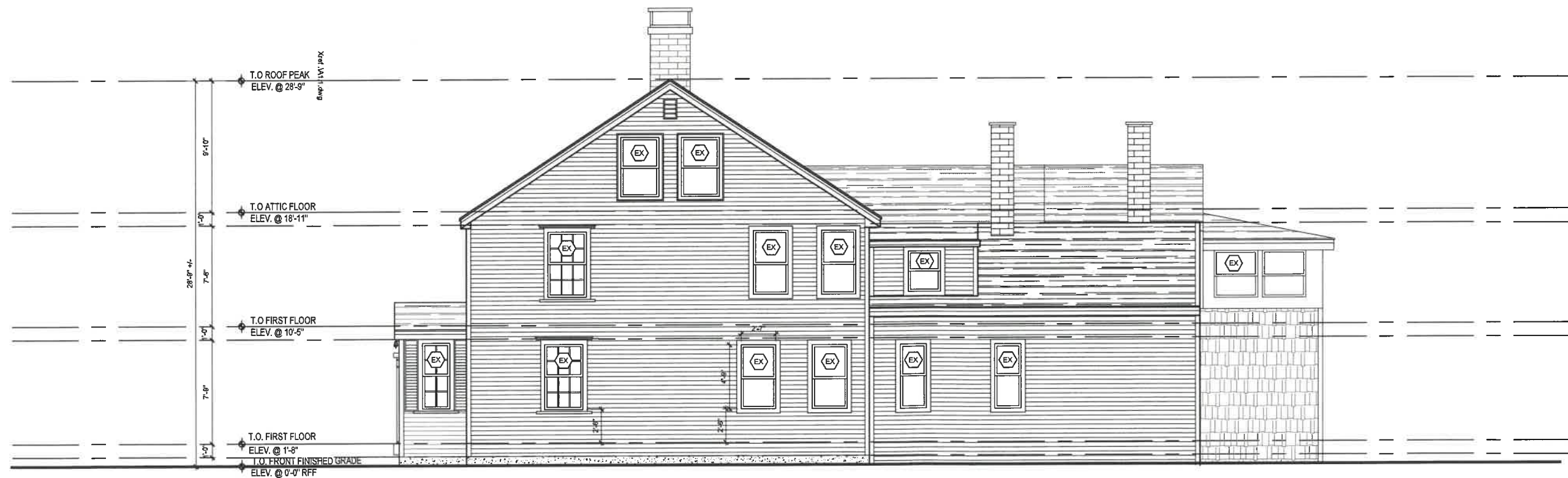
**PROPOSED
FLOOR PLAN**

DRAWN: K.T.J.Z	DRAWING NO.
SCALE: NOTED	
DATE: 05/14/2025	
CHECKED:	
SHEET OF	A1.10



EXISTING REAR (WEST) ELEVATION
SCALE: 1/4"=1'-0"

1
A2.2



EXISTING RIGHT SIDE (NORTH) ELEVATION
SCALE: 1/4"=1'-0"

2
A2.2



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NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

EXISTING
ELEVATIONS

DRAWN	K.T.	DRAWING NO.
SCALE	NOTED	
DATE	06/03/2025	
CHECKED		
SHEET	10 OF 15	A2.2

ALL NEW AND EXISTING WINDOWS SHALL BE 6/6 SDL.

ALL DOORS SHALL MATCH THE EXISTING PROFILES.

ALL SIDING WILL BE REPLACED WITH PREVIOUSLY SUBMITTED SIDING TO MATCH THE EXISTING PROFILE

ALL WINDOW TRIMS TO BE INSTALLED OR REPLACED WITH PREVIOUSLY SUBMITTED TRIM TO MATCH THE EXISTING TRIM PROFILES

ALL FASCIA AND SOFFIT TRIMS TO BE INSTALLED OR REPLACED WITH PREVIOUSLY SUBMITTED TRIM TO MATCH EXISTING PROFILES

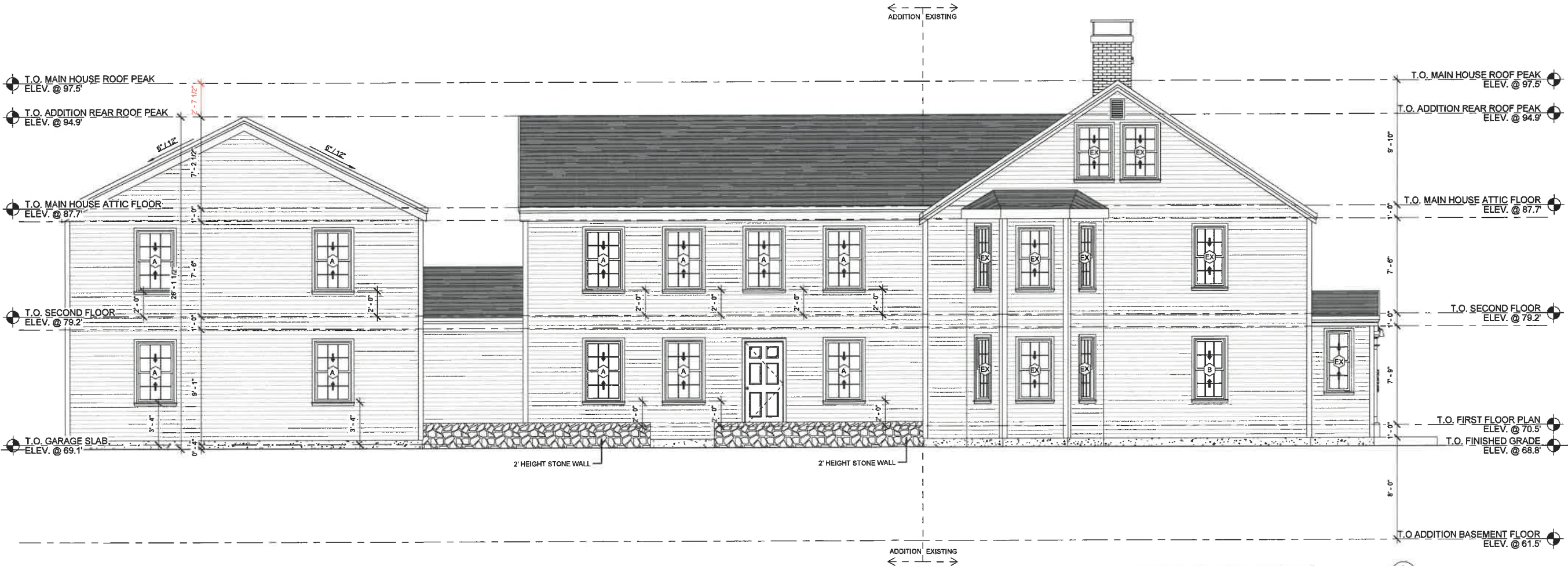
ALL GUTTERS SHALL BE INSTALLED OR REPLACED WITH NEW ALUMINUM GUTTERS.

GRAPHIC LEGEND



PROPOSED FRONT (EAST) ELEVATION (MAIN ST)
SCALE: 1/4" = 1'-0"

1
A2.3



PROPOSED LEFT-SIDE (SOUTH) ELEVATION (MILL LN)
SCALE: 1/4" = 1'-0"

2
A2.3

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REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2028
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST.
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

MAIN HOUSE
PROPOSED
ELEVATIONS

DRAWN: JZ
SCALE: 1/4" = 1'-0"
DATE: 10/20/2025
CHECKED:
SHEET OF

DRAWING NO:
A2.3

WINDOW SCHEDULE							
ITEM	BRAND	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	WIDTH	HEIGHT	QTY	REMARK
A		3'-0"	4'-10"	2'-11 1/2"	4'-9 1/2"	21	DOUBLE HUNG
B		2'-6"	4'-10"	2'-5 1/2"	4'-9 1/2"	1	DOUBLE HUNG
C		3'-0"	2'-0"	2'-11 1/2"	1'-11 1/2"	1	AWNING, TEMPERED GLASS
D		3'-0 1/2"	1'-6 1/4"	3'-0"	1'-6"	4	AWNING
F		3'-0"	3'-4"	2'-11 1/2"	3'-3 1/2"	1	DOUBLE HUNG, TEMPERED GLASS, UNIT #2 SECOND FLOOR BATHROOM
F.1		3'-0"	3'-4"	2'-11 1/2"	3'-3 1/2"	3	DOUBLE HUNG
H		2'-7"	4'-9"	2'-6 1/2"	4'-8 1/2"	2	DOUBLE HUNG
H.1		2'-7"	4'-9"	2'-6 1/2"	4'-8 1/2"	1	DOUBLE HUNG, TEMPERED GLASS



JC
JB
T

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REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
7	JZ	HISTORICAL COMMENT	12/26/2025

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

MAIN HOUSE
PROPOSED
ELEVATIONS

DRAWN: JZ

SCALE: 1/4" = 1'-0"

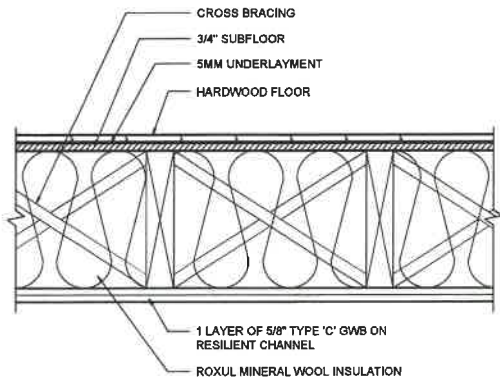
DATE: 10/20/2025

CHECKED:

SHEET OF

DRAWING NO:

A2.4

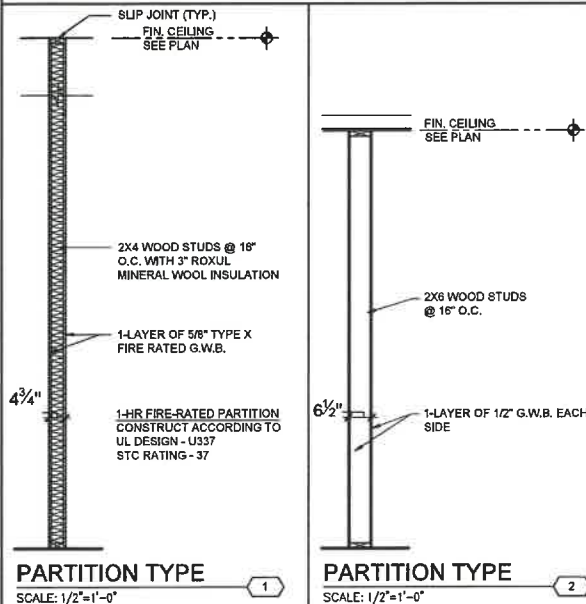


STC RATING 56

1-HR FIRE RATED CEILING - L557

SCALE: 1-1/2"=1'-0"

A
A3.1

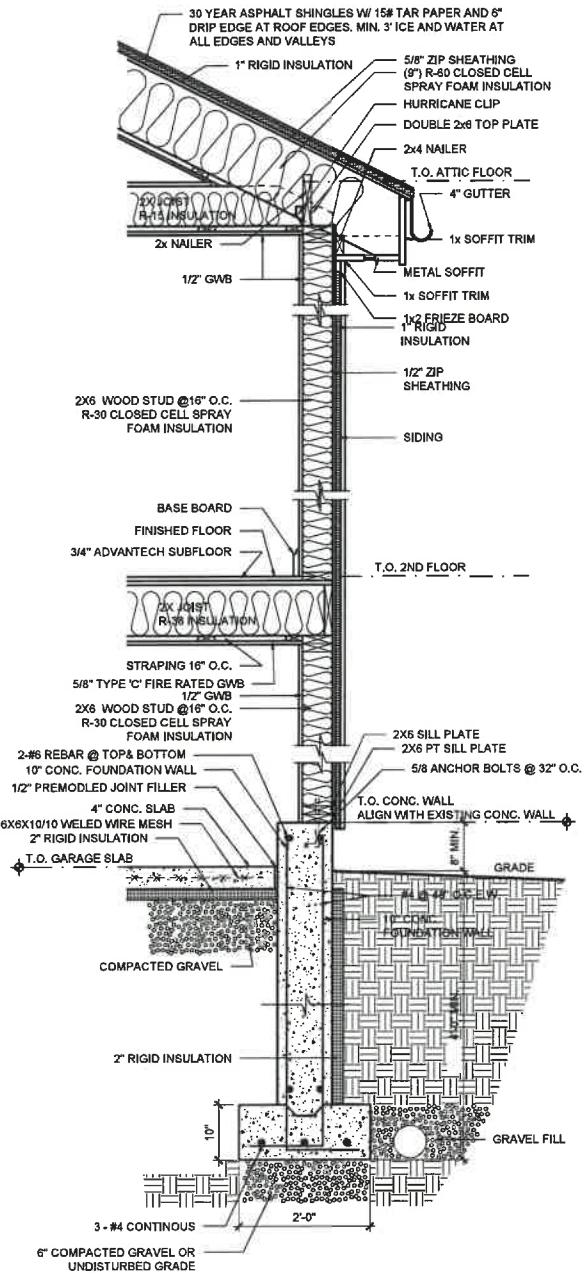


PARTITION TYPE 1

SCALE: 1/2"=1'-0"

PARTITION TYPE 2

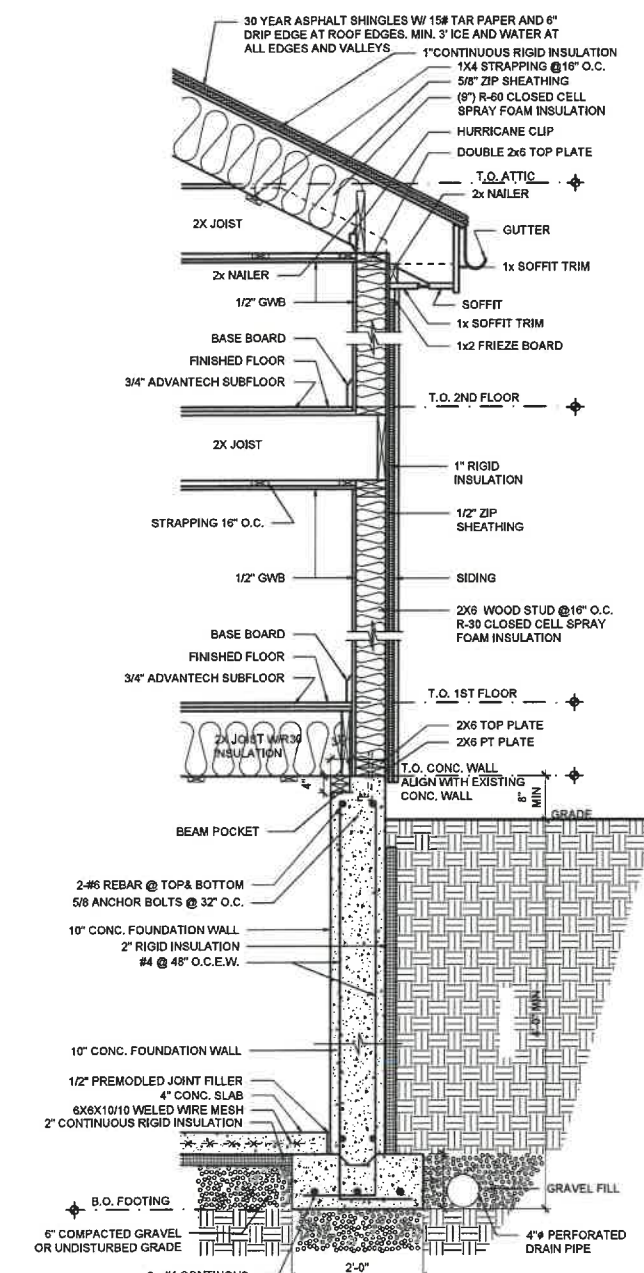
SCALE: 1/2"=1'-0"



WALL SECTION - GARAGE

SCALE: 3/4"=1'-0"

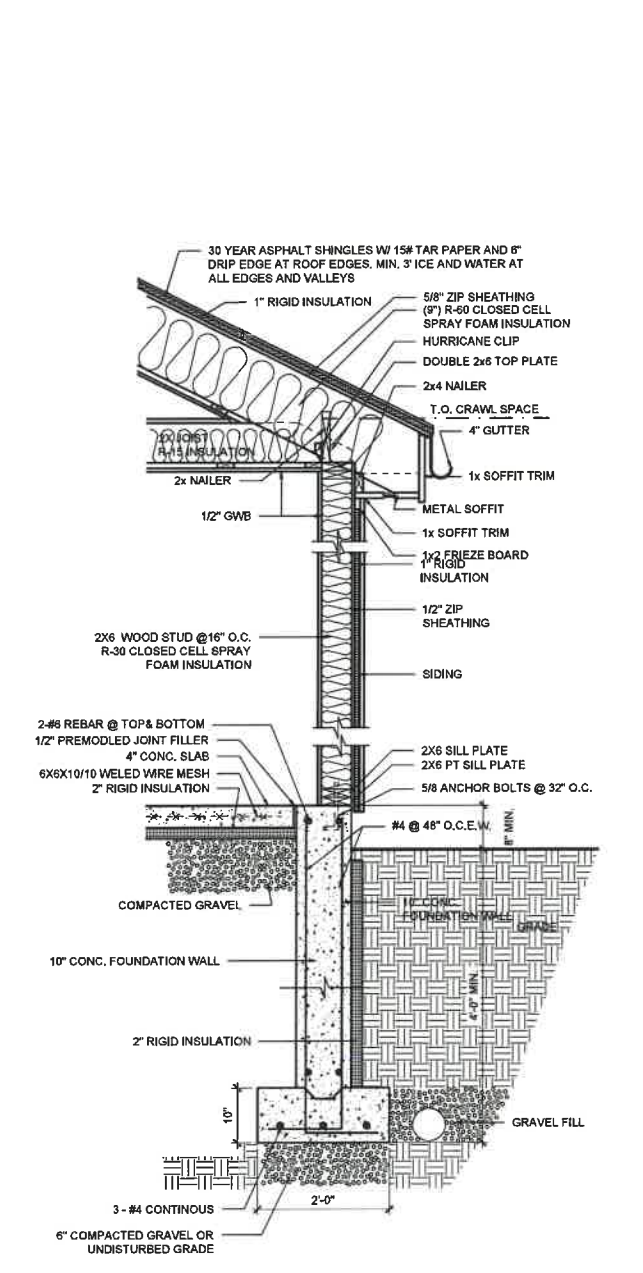
1
A3.1



WALL SECTION - NEW FOUNDATION

SCALE: 3/4"=1'-0"

2
A3.1



WALL SECTION - MUDROOM

SCALE: 3/4"=1'-0"

3
A3.1

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CONSULTANT

REGISTRATION

REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

WALL SECTION &
PARTITION
DETAILS

DRAWN: J.Z.	DRAWING NO:
SCALE: NOTED	
DATE: 4/8/2026	
CHECKED:	
SHEET OF	A3.1



CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED FRONT
PERSPECTIVE VIEW

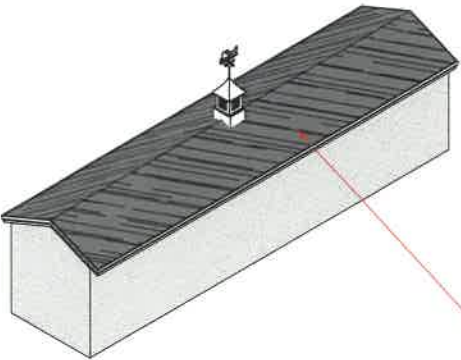
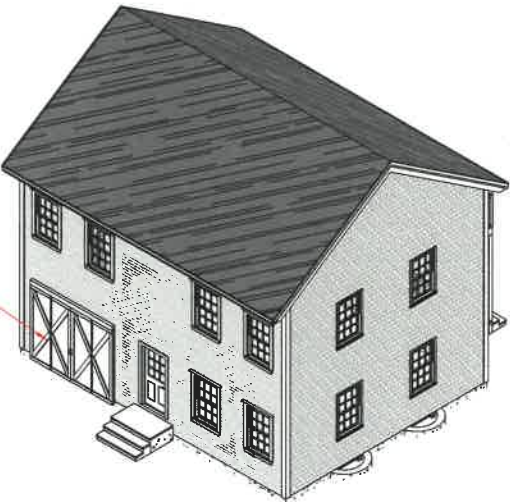
DRAWN: JZ
SCALE:
DATE: 10/20/2025
CHECKED:
SHEET OF

DRAWING NO:

A4.1



10'-0"X8'-0"
BIFOLD TOUNGE &
GROOVE CEDAR BARNDOORS
SEE DETAIL A5.1



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST.
HINGHAM, MA

PROJECT NO. 25065

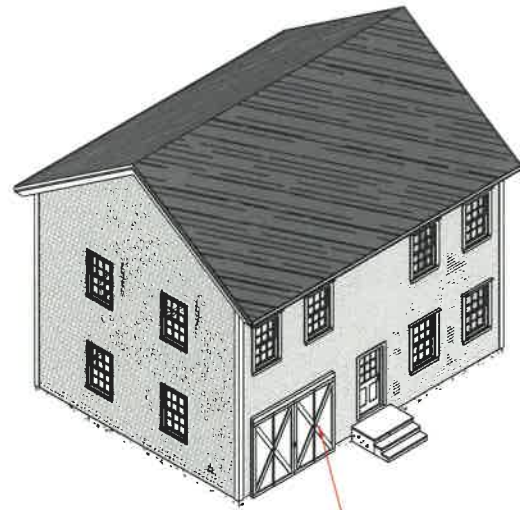
SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

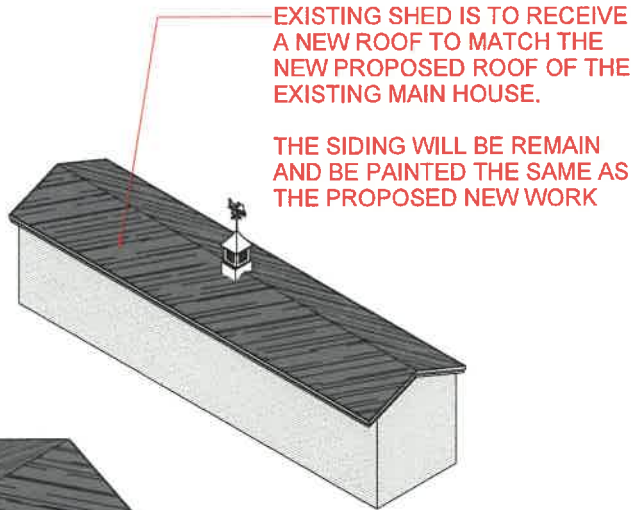
DRAWN:	JZ
SCALE:	
DATE:	10/20/2025
CHECKED:	
SHEET	OF

DRAWING NO:

A4.2

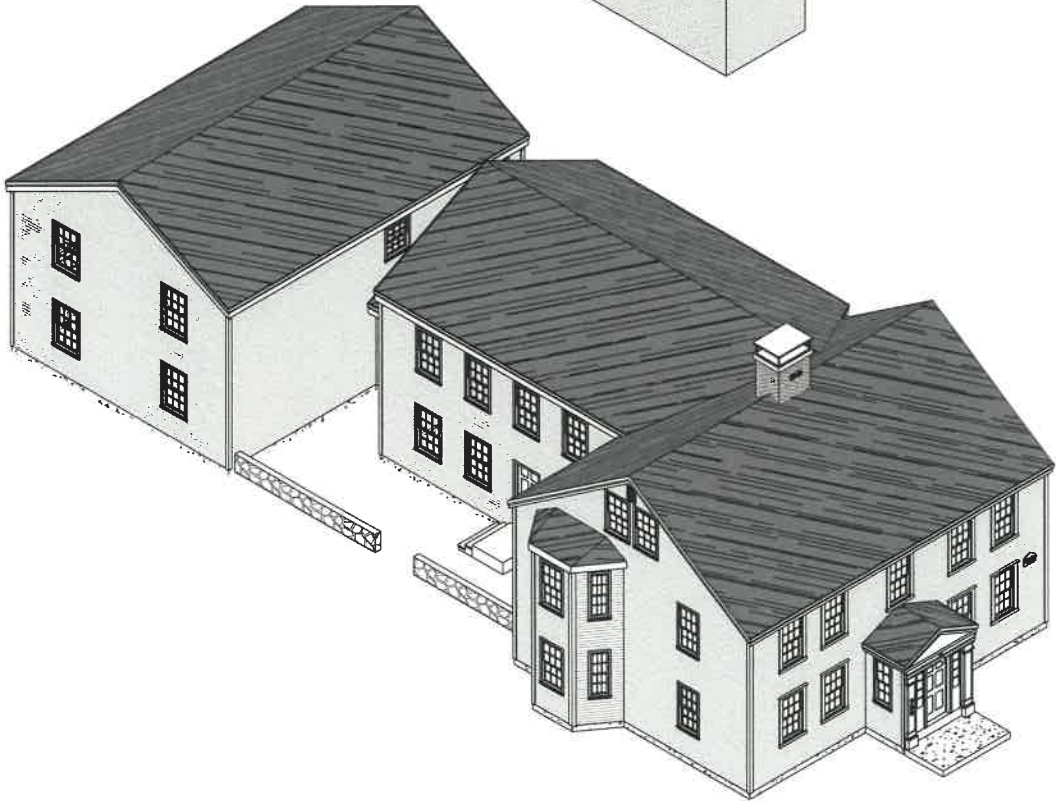


10'-0"X8'-0"
BIFOLD TOUNGE &
GROOVE CEDAR BARNDOORS
SEE DETAIL A5.1



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/28/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

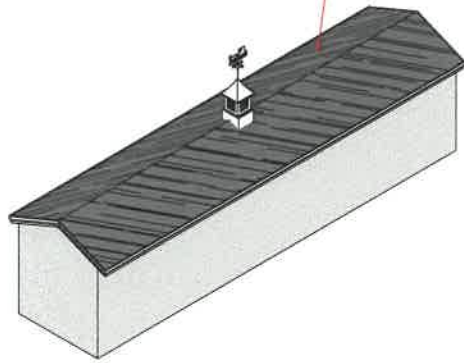
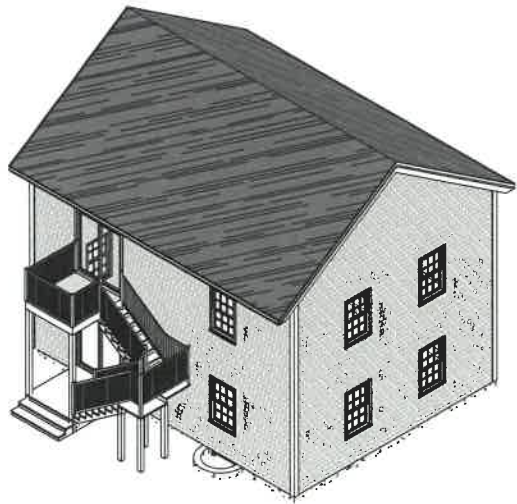
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ	DRAWING NO:
SCALE:	
DATE: 10/20/2025	
CHECKED:	
SHEET OF	



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

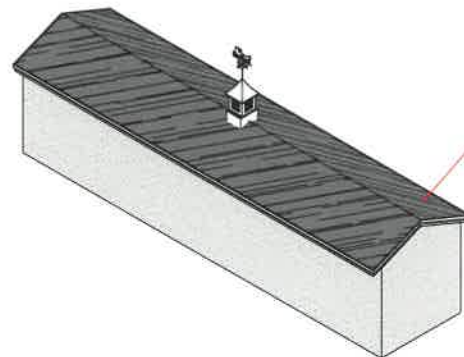
SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ
SCALE:
DATE: 10/20/2025
CHECKED:
SHEET OF

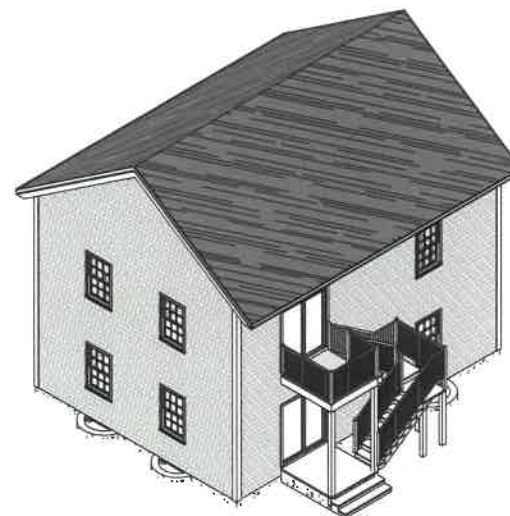
DRAWING NO:

A4.4



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/08/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

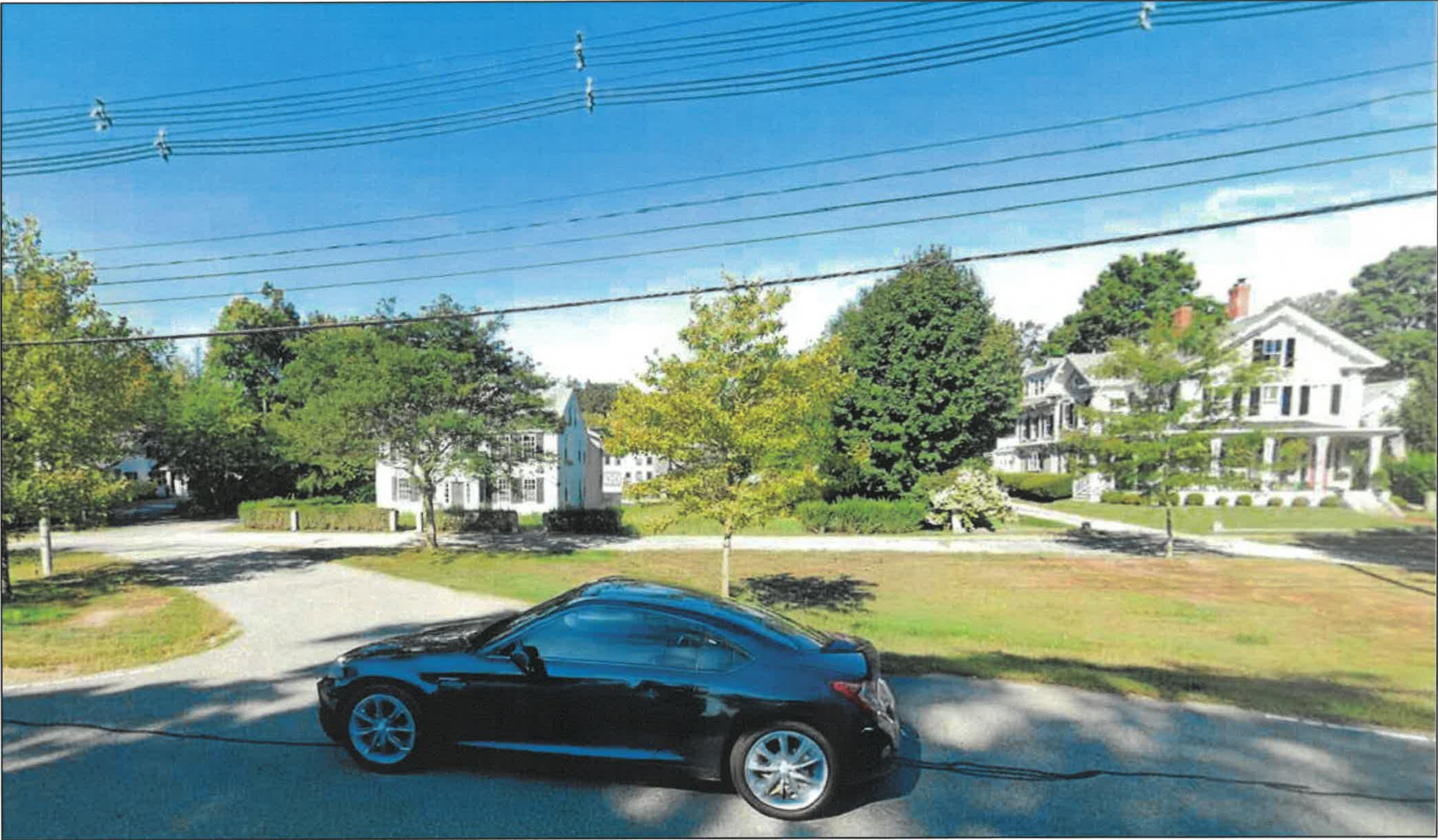
709 MAIN ST.
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ	DRAWING NO:
SCALE:	A4.5
DATE: 10/20/2025	
CHECKED:	
SHEET OF	



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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL COMMENT	11/14/2025
2	TN	HISTORICAL COMMENT	01/02/2026
3	JZ	HISTORICAL COMMENT	02/09/2026

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
FRONT STREET VIEW

DRAWN: K.T./J.Z./T.N.

DRAWING NO:

SCALE: NOTED

DATE: 08/03/2025

CHECKED:

SHEET OF

A4.6



JC BT
ARCHITECT

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REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

ARCHITECTURAL
DETAILS

DRAWN: K.T.J.J.Z

DRAWING NO:

SCALE: NOTED

DATE: 08/03/2025

CHECKED:

SHEET OF

A4.7



CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

ARCHITECTURAL
DETAILS

DRAWN: KTJJZ

DRAWING NO:

SCALE: NOTED

DATE: 06/03/2025

CHECKED:

SHEET OF

A4.8



CONSULTANT

REGISTRATION



REVISIONS			
NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

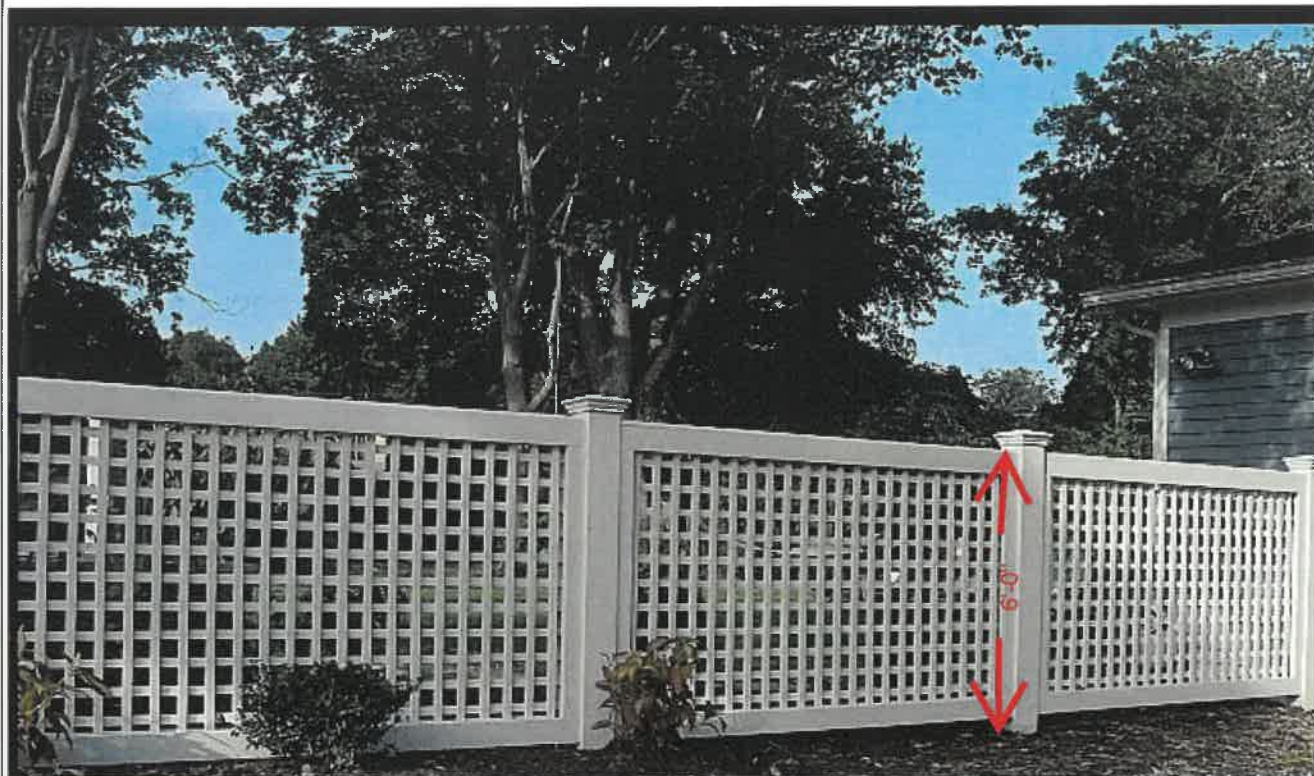
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

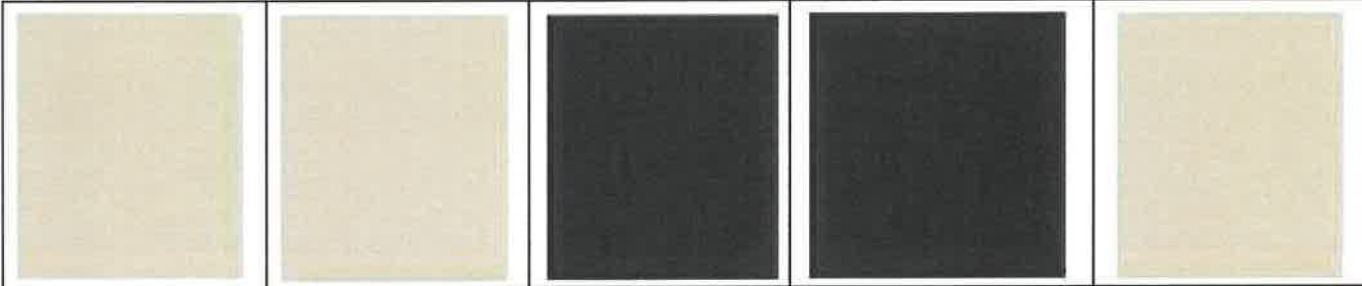
ARCHITECTURAL
DETAILS

DRAWN: K.T.J.L.Z	DRAWING NO:
SCALE: NOTED	A4.9
DATE: 06/03/2025	
CHECKED:	
SHEET OF	

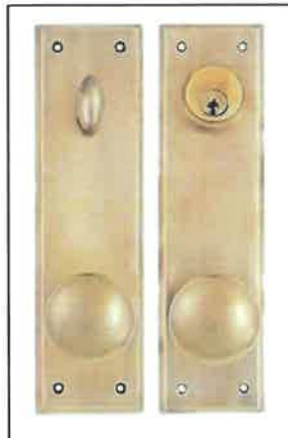


PROPOSED 6' -0 " HAND BUILT CEDAR LATTICE FENCING

EXTERIOR PAINT CHOICES, ALL EXTERIOR SIDING, TRIM, DOORS, AND WINDOW.



1.SIDING: JEWETT WHITE
2.TRIM: JEWETT WHITE
3.WINDOW SASHES AND ENTRY DOORS: SAYWARD PINE H0101
4.GUTTERS: SAYWARD PINE H0101
5.LEADERS: JEWETT WHITE



PROPOSED ENTRY DOOR HARDWARE



PROPOSED EXTERIOR LIGHTS



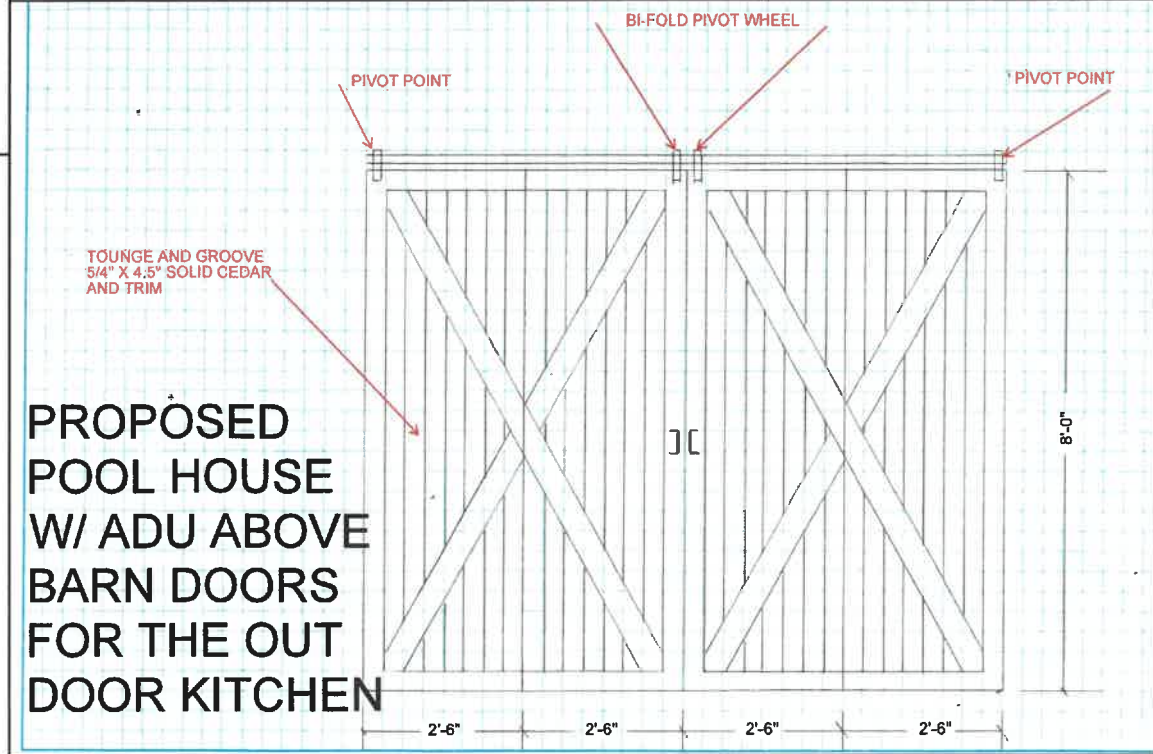
PROPOSED ASPHALT ROOFING



BOSTON CITY HALL PAVING BRICK



RECLAIMED STONE WALLS



PROPOSED POOL HOUSE W/ ADU ABOVE BARN DOORS FOR THE OUT DOOR KITCHEN

(ALL ITEM DETAILS SEE THE MATERIAL SPEC SHEET)

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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING MULTI FAMILY ALTERATION & ADDITION

709 MAIN ST, HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED WORK DETAILS

DRAWN: K.T.J.J.Z	DRAWING NO:
SCALE: NOTED	
DATE: 2/9/2026	
CHECKED:	
SHEET OF	A5.1



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REGISTRATION



REVISIONS

[illegible]

PROJECT

**EXISTING MULTI FAMILY
ALTERATION & ADDITION**

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

FOUNDATION PLAN

DRAWN: KT,JJZ

DRAWING NO:

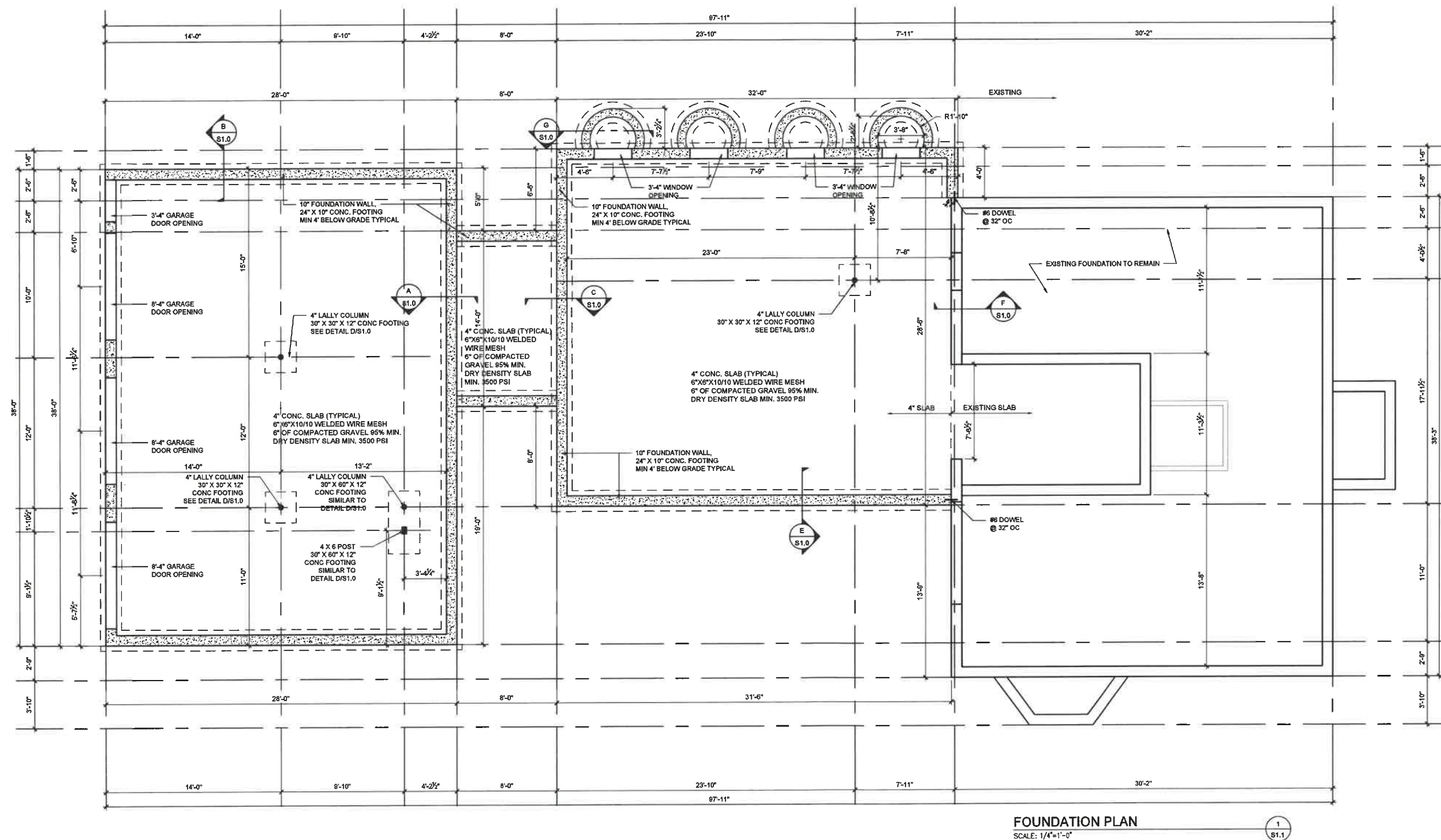
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DATE: 4/6/2026

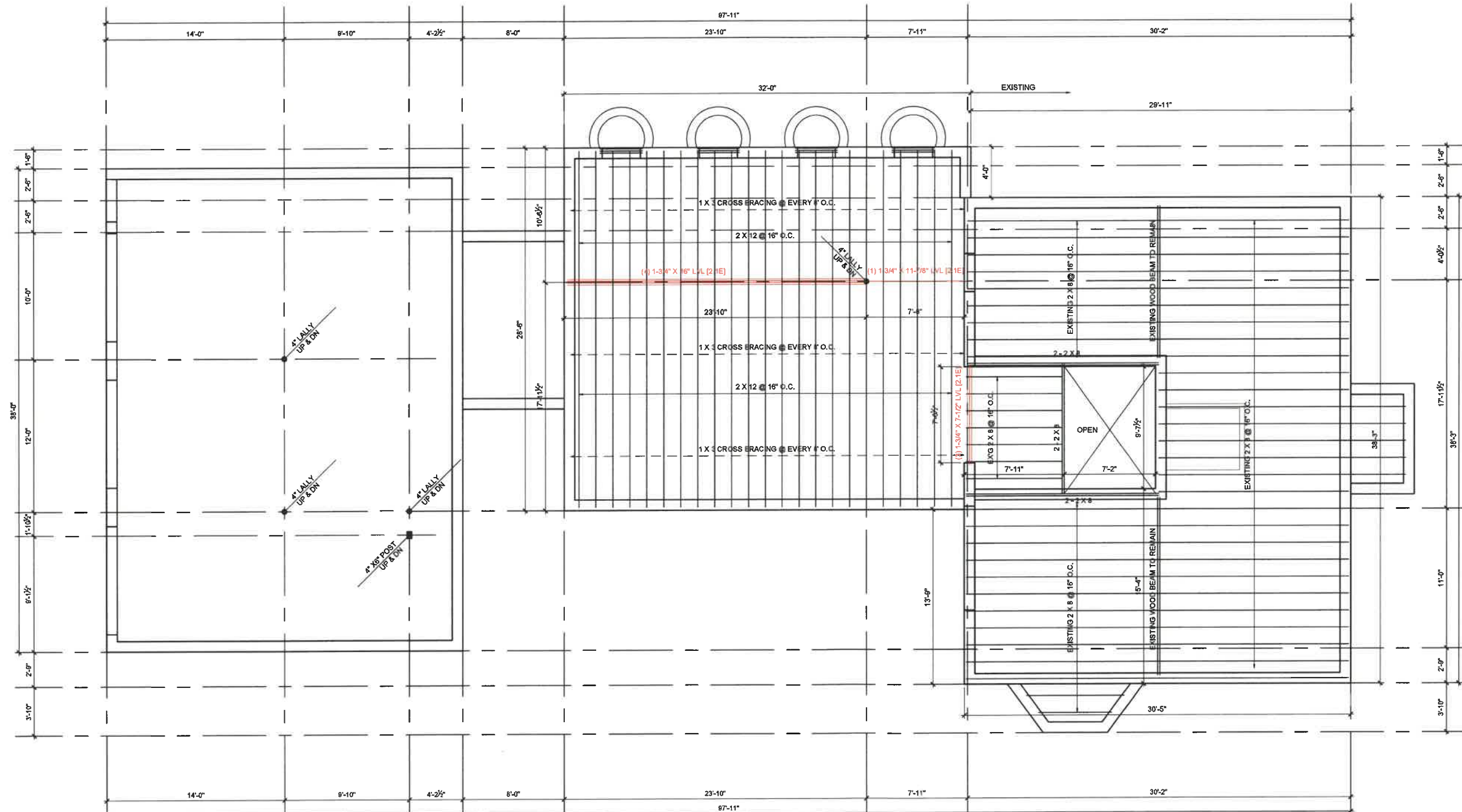
CHECKED:

SHEET OF

S1.1



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



NOTE:
ALL FRAMING ARE FLUSH FRAME
WITH JOIST HANGERS TYPICAL

FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

1
S1.2



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REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

FRAMING
PLAN

DRAWN: K.T./J.Z.

DRAWING NO:

SCALE: NOTED

DATE: 4/8/2026

CHECKED:

SHEET OF

S1.2



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REGISTRATION



REVISIONS

[illegible]

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

FRAMING PLAN

DRAWN: K.T./J.Z

SCALE: NOTED

DATE: 4/6/2026

CHECKED:

SHEET

DRAWING NO:

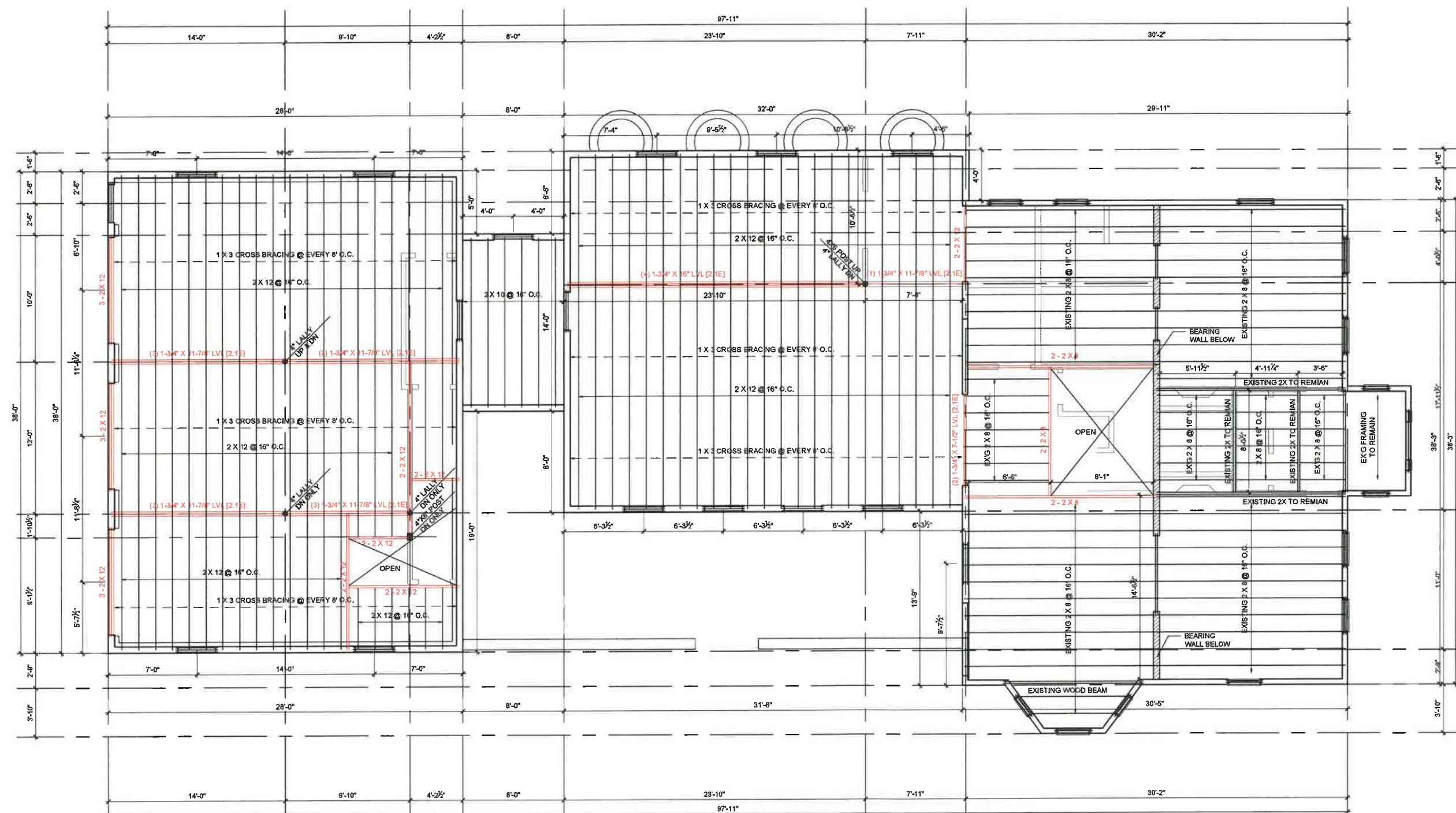
	7
--	---

11

S1 3

CR.

S1.3



NOTE:
ALL FRAMING ARE FLUSH FRAME
WITH JOIST HANGERS TYPICAL

SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

1

15



1
\$1.