

GRAPHIC SYMBOLS

	ENLARGED DETAIL REFERENCE NUMBER SHEET NUMBER		CEILING 10'-0"		DATUM POINT LOCATION ELEVATION		EXIT SIGN		EXISTING PARTITION
	SECTION DETAIL REFERENCE I.D. SHEET NUMBER		MATCH LINE SHEET NUMBER		REVISION INDICATOR REVISION NUMBER		ANSUL SYSTEM SWITCH		DEMOLITION PARTITION
	ELEVATION REFERENCE I.D. SHEET NUMBER		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		SMOKE DETECTOR		NEW PARTITION
	INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		CARBON MONOXIDE & SMOKE COMBO DETECTOR		NEW PARTITION
	WINDOW SYMBOL REFERENCE NUMBER		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		HEAT DETECTOR		NEW PARTITION
	CEILING HEIGHT KEY HEIGHT MATERIAL TYPE		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		OUTSIDE BEACON		NEW PARTITION
	FIRE DOOR SYMBOL 90MIN FIRE RATED DOOR (3HR FIRE WALL)		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		HORN		NEW PARTITION
	FIRE DOOR SYMBOL 60MIN FIRE RATED DOOR (2HR FIRE WALL)		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		STROBE ONLY		NEW PARTITION
	FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL)		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		PULL STATION WHOMR		NEW PARTITION
	FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL)		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		FLOOR DRAIN		NEW PARTITION
	FIRE DOOR SYMBOL 45MIN FIRE RATED DOOR (1HR FIRE WALL)		REVISION NUMBER		PARTITION INDICATOR PARTITION TYPE		FIRE EXTINGUISHER		NEW PARTITION

ABBREVIATION

ABI	ACCENT BUILT-IN	FAO	FINISHED ALL OVER	MAX	MAXIMUM	RM	ROOM
ACT	ACOUSTIC CEILING TILE	FE	FIRE EXTINGUISHER	MB	MERCHANDISE BAY	RO	ROUGH OPENING
APF	ABOVE FINISH FLOOR	FEC	FIRE EXTINGUISHER CABINET	MDO	MEDIUM DENSITY OVERLAY	SCB	STANDARD BUILDING CODE
AL	ALUMINUM	FIN	FINISH	MECH	MECHANICAL	SCH	SCHEDULE
AVG	AVERAGE	FT	FEET	MFR	MANUFACTURER	SECT	SECTION
BD	BOARD	FL	FLOOR	MIN	MINIMUM	SHT	SHEET
BLDG	BUILDING	FLUOR	FLUORESCENT	MISC	MISCELLANEOUS	SIM	SIMILAR
BOCA	BUILDING OFFICIALS CODE ADMINISTRATION	FRT	FIRE RETARDANT TREATED	MIDG	MOLDING	SMF	STRUCTURAL METAL FRAMING
BR	BRASS	FS	FULL SIZE	MO	MASONRY OPENING	SPECS	SPECIFICATIONS
BRZ	BRONZE	FSG	FREE STANDING UNIT	MR	MOISTURE RESISTANT	SQ	SQUARE
CAB	CABINET	FURN	FURNISH	MTL	METAL	SQ FT	SQUARE FEET
CH	CHROME	FW	FEATURE WALL	MULL	MULLION	SQ IN	SQUARE INCHES
CL	CENTER LINE	GA	GAUGE	NAT	NATURAL	SS	STAINLESS STEEL
CLG	CEILING	G.C.	CONTRACTOR	NIC	NOT IN CONTRACT	STD	STANDARD
CLR	CLEAR	GL	GLASS	NFFA	NATIONAL FIRE PROTECTION ASSOCIATION	SUSP	SUSPENDED
CMU	CONCRETE MASONRY UNIT	GRG	GLASS REINFORCED GYPSUM	NO	NUMBER	SYS	SYSTEM
COL	COLUMN	GWB	GYPSUM BOARD	NOM	NOMINAL	T	THICK
CONC	CONCRETE	H	HEIGHT	NTS	NOT TO SCALE	T&G	TONGUE AND GROOVE
CONST	CONSTRUCTION	HC	HOLLOW CORE	OC	ON CENTER	TEL	TELEPHONE
CONT	CONTINUOUS	HDWD	HARDWARE	OPI	OWNER FURNISHED ITEM	TEMP	TEMPERATURE
D	DEEP	HDWD	HARDWOOD	OPNG	OPENING	TR	TREAD
DEMO	DEMOLITION	HR	HORIZONTAL	OPP	OPPOSITE	TYP	TYPICAL
DET	DETAIL	HR	HANGRAIL	PL	PLASTIC LAMINATE	UBC	UNIFORM BUILDING CODE
DIA	DIAMETER	IN	INCH	PLBG	PLUMBING	UNO	UNLESS NOTED OTHERWISE
DIV PNL	DIVIDER PANEL	INSUL	INSULATION	PLYWD	PLYWOOD	UR	URINAL
DWG	DRAWING	INT	INTERIOR	PNL	PANEL	VB	VAPOR BARRIER
EA	EACH	JB	JUNCTION BOX	PT	PRESSURE TREATED	VIF	VERIFY IN THE FIELD
ELEC	ELECTRIC	L	LONG	QTY	QUANTITY	W	WIDE
EQ	EQUAL	LAV	LAVATORY	R	RADIUS	WC	WATER CLOSET
EST	ESTIMATE	LIN	LINEAR	REF	REFERENCE	WD	WOOD
EXIST	EXISTING	LL	LANDLORD	REQD	REQUIRED	WI	WROUGHT IRON
		LT	LIGHT	REV	REVISION	WT	WEIGHT
		LTG	LIGHTING			W/O	WITHOUT

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE AND COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL OTHER APPLICABLE REGULATIONS, LAWS, ORDINANCES, ETC. GOVERNING THIS WORK.
- PRIOR TO BUILDING, ALL CONTRACTORS MUST THOROUGHLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND INSPECT THE BUILDING TO FULLY UNDERSTAND THE FACILITY, DIFFICULTIES AND RESTRICTIONS AFFECTING THE EXECUTION OF THE WORK UNDER THIS CONTRACT. THE FAILURE OF ANY CONTRACTORS TO RECEIVE OR EXAMINE ANY FORM OF INSTRUMENT OR DOCUMENT OR TO VISIT THE SITE SHALL IN NO WAY RELIEVE ANY OBLIGATION WITH RESPECT TO THIS WORK. NO CLAIMS FOR ANY ADDITIONAL COST WILL BE ALLOWED DUE TO LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS.
- CONTRACTOR'S BID PRICE SHALL REFLECT ALL SPECIFIED WORK.
- INFORMATION ON THESE PLANS ARE SCHEMATIC. INDIVIDUAL ROOF MANUFACTURES HAVE DIFFERENT DETAILS AND THESE MAY VARY DEPENDING ON WHICH MANUFACTURING SYSTEM IS SELECTED. CONTRACTOR SHOULD VISIT SITE TO ENSURE THAT HE IS FAMILIAR WITH THE PROJECT REQUIREMENT TO DO A COMPLETE ATTENTION SHOULD BE MADE AT THE MECHANICAL EQUIPMENT WITH RESPECT TO DISCONNECTION, MOVING, ROOF INSTALLATION AND RE-INSTALLING.
- ALL EXISTING CONDITIONS AND PLAN AND DETAIL DIMENSIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL NOTIFY THE CONTRACTING OFFICER OF ANY DISCREPANCIES FOUND IN THE PLANS OR SPECIFICATIONS BEFORE PROCEEDING WITH AFFECTED PART OF THE WORK.
- THE GENERAL CONTRACTOR MUST RECONFIRM THE DIMENSIONS OF THE DEMISING PARTITIONS AND COLUMN LOCATIONS.
- THE GENERAL CONTRACTOR SHALL UPON INITIAL SITE VISIT VERIFY ALL EXISTING CONDITIONS (I.E., OVERALL DIMENSIONS, CONDITION OF CONCRETE SLAB, LOCATION OF SERVICES, STRUCTURE, CLEARANCES, ETC.) AND REPORT ANY DISCREPANCIES, OMISSIONS, OR OBSTRUCTIONS THAT WILL AFFECT THE LAYOUT OR DESIGN OF THE SPACE IMMEDIATELY TO THE OWNER OR OWNER'S PROJECT MANAGER.
- CONTRACTOR SHALL LAY OUT PARTITION LINES ON FLOOR AT BEGINNING OF JOB AND NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS IMMEDIATELY.
- G.C. TO PATCH AND REPAIR EXISTING WALLS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WITH LIKE CONSTRUCTION MATERIALS TO MATCH EXISTING.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT ADJOINING PROPERTY AND STRUCTURES FROM DAMAGE. ALL ABUTTING WORK SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER.
- IT IS NOT INTENDED THAT THESE DRAWINGS SHOW EVERY CUT, CONDITION ETC., OF THIS SYSTEM. HOWEVER, THE CONTRACTOR SHALL FURNISH A COMPLETE PRODUCT IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE AND IN STRICT CONFORMANCE WITH ALL APPLICABLE INTERNATIONAL CODE AND STATE BUILDING CODE REGULATIONS.
- CONTRACTOR SHALL ADHERE TO A SCHEDULE FOR ALL WORK WHICH DOES NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY.
- CONTRACTOR SHALL ENSURE THAT MEMBRANE ROOFING MANUFACTURE'S REPRESENTATIVE IS PRESENT ON SITE DURING INSTALLATION OF THE ENTIRE ROOF.
- ROOF SLOPES AS NOTED ON DRAWINGS ARE BASED ON AVAILABLE EXISTING INFORMATION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND SLOPES AND SUBMIT TO DESIGNER ALL EXISTING ELEVATIONS PRIOR TO INSTALLATION OF INSULATION. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE MINIMUM SLOPES TOWARDS ROOF FRAMING AS NOTED. USE TAPERED INSULATION AT FLAT AREAS AS REQUIRED TO ACHIEVE POSITIVE SLOPES.
- COMPLETE SYSTEM WARRANTIES INCLUDING ROOFING, INSULATION AND OTHER RELATED ITEMS ARE REQUIRED FOR THIS PROJECT. REFER TO MANUFACTURER'S SPECIFICATION.
- DO NOT PUT DISSIMILAR METALS IN CONTACT WITH EACH OTHER.
- UNLESS SPECIFICALLY NOTED AS EXISTING, ALL ITEMS ARE NEW.
- USE ONLY MASONRY MATERIALS FOR MASONRY PATCHING AND USE ONLY ROOFING MATERIALS FOR ROOF WORK.

MAIN HOUSE SQUARE FOOTAGE CALCULATION

PROPOSED POOL HOUSE W/ ADU ABOVE CONDITION	
2ND FLOOR (ADU)	825SF
1ST FLOOR (POOL HOUSE)	825SF
UNFINISHED BASEMENT (684 SF)	
TOTAL GROSS FLOOR AREA	1,650 SF
BEDROOM	1
FULL BATHROOM	2

MAIN HOUSE INFORMATION CALCULATION

	EXISTING	PROPOSED
BEDROOM	7	MAIN HOUSE : 7 POOL HOUSE WITH ADU ABOVE: 1
HABITABLE ROOM	20	MAIN HOUSE : 11 POOL HOUSE WITH ADU ABOVE: 3
SQUARE FOOTAGE OF THE AREA OF WORK	3,888 SF +/-	
OVERALL BUILDING:		
FOOTPRINT	2,558 SF +/-	MAIN HOUSE : 3,288 SF +/- POOL HOUSE WITH ADU ABOVE : 884 SF
LENGTH	63'-10" +/-	MAIN HOUSE : 97'-11" +/- POOL HOUSE WITH ADU ABOVE : 26'
WIDTH	53'-3"	MAIN HOUSE : 46'-1" +/- POOL HOUSE WITH ADU ABOVE : 34'
HEIGHT	28'-8" +/-	MAIN HOUSE : 28'-8" +/- POOL HOUSE WITH ADU ABOVE : 31'-10" +/-
F.A.R. CALCULATION (GROSS FLOOR AREA/LOT AREA)	0.13 (4,601 / 34,214)	0.20 (6,854 / 34,214)
GROSS FLOOR AREA	4,601 SF +/- (MAIN HOUSE: 1ST FLOOR: 2,390 SF +/- 2ND FLOOR: 2,211 SF +/-)	6,854 SF +/- (MAIN HOUSE: 1ST FLOOR: 2,207 SF +/- 2ND FLOOR: 2,897 SF +/-) (POOL HOUSE WITH ADU ABOVE: 1ST FLOOR: 825 SF 2ND FLOOR: 825 SF)
TOTAL FOOTPRINT OF BUILDING AREA COVERAGE	3,484 SF +/- (EXISTING MAIN HOUSE: 2,558 SF +/- + EXISTING SHED: 473 SF +/- + EXISTING 2-CAR GARAGE: 453 SF +/-)	4,655 SF +/- (MAIN HOUSE: 3,288 SF +/- + EXISTING SHED: 473 SF +/- POOL HOUSE WITH ADU ABOVE: 884 SF)

LOCUS PLAN



DOCUMENT LIST

A0.1	TITLE SHEET	SHEET	1
A1.0	PROPOSED SITE PLAN	SHEET	2
A1	PROPOSED POOL HOUSE W/ ADU ABOVE FLOOR PLANS	SHEET	3
A2	PROPOSED POOL HOUSE W/ ADU ABOVE ELEVATIONS	SHEET	4
A3	EXTERIOR SECTION & PARTITION DETAILS	SHEET	5
A4.1	PROPOSED FRONT PERSPECTIVE VIEW	SHEET	6
A4.2	PROPOSED PERSPECTIVE VIEW	SHEET	7
A4.3	PROPOSED PERSPECTIVE VIEW	SHEET	8
A4.4	PROPOSED PERSPECTIVE VIEW	SHEET	9
A4.5	PROPOSED PERSPECTIVE VIEW	SHEET	10
A5.1	PROPOSED WORK DETAILS	SHEET	11
S1	STRUCTURAL NOTES & DETAILS & FOUNDATION PLAN	SHEET	12
S2	FRAMING PLANS	SHEET	13

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REGISTRATION

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	BLDG. DEPARTMENT COMMENT	5/21/2026

PROJECT

NEW POOL HOUSE
WITH ADU ABOVE

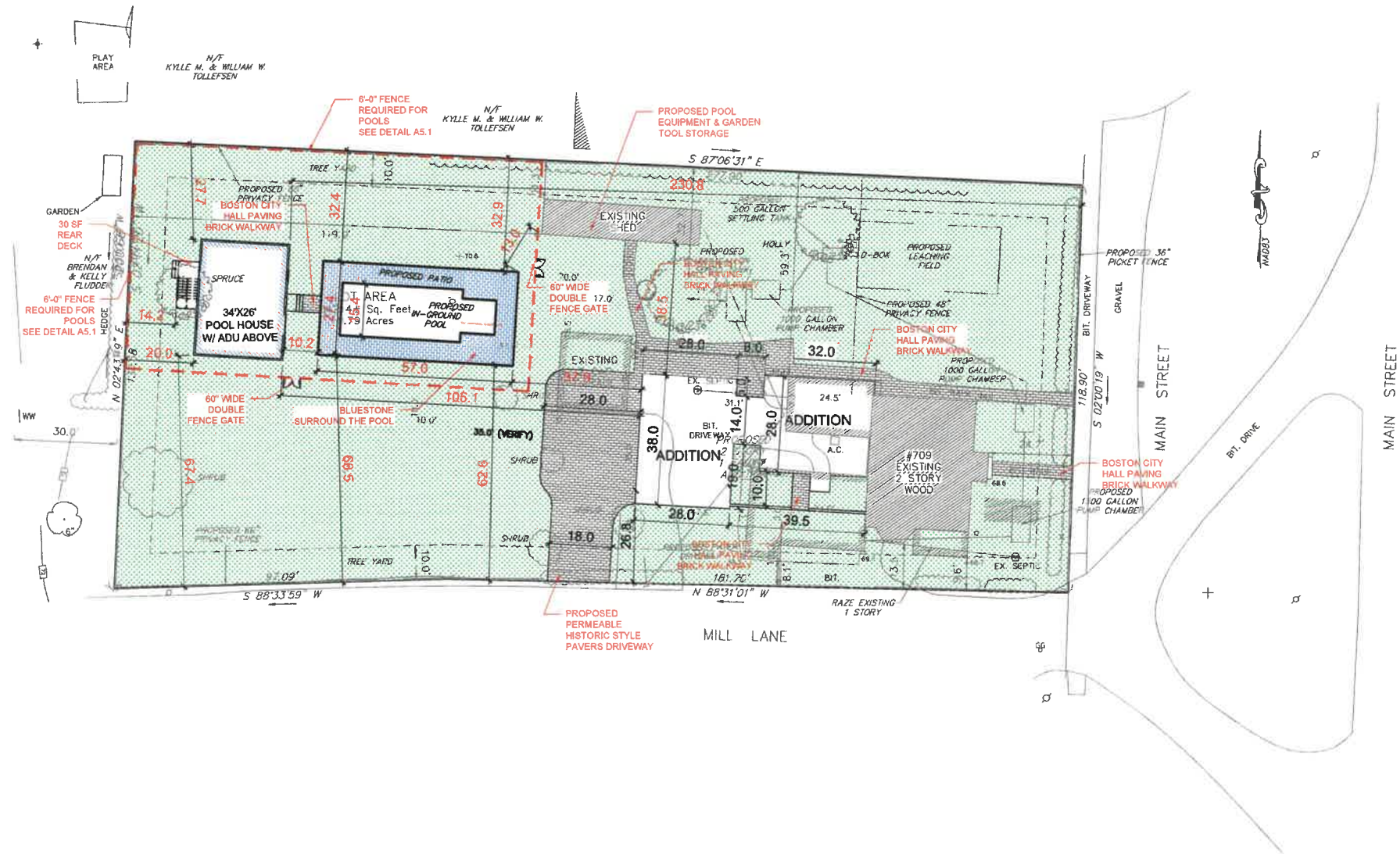
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

TITTLE
SHEET

DRAWN: J.Z.	DRAWING NO:
SCALE: NOTED	
DATE: 6/9/2025	
CHECKED:	
SHEET OF	A0.1



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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL COMMENT	11/14/2025
2	BT	HISTORICAL COMMENT	01/02/2026
3	JZ	HISTORICAL COMMENT	01/22/2026
4	JZ	HISTORICAL COMMENT	02/09/2026
5	JZ	HISTORICAL COMMENT	03/09/2026

PROJECT

NEW POOL HOUSE
WITH ADU ABOVE

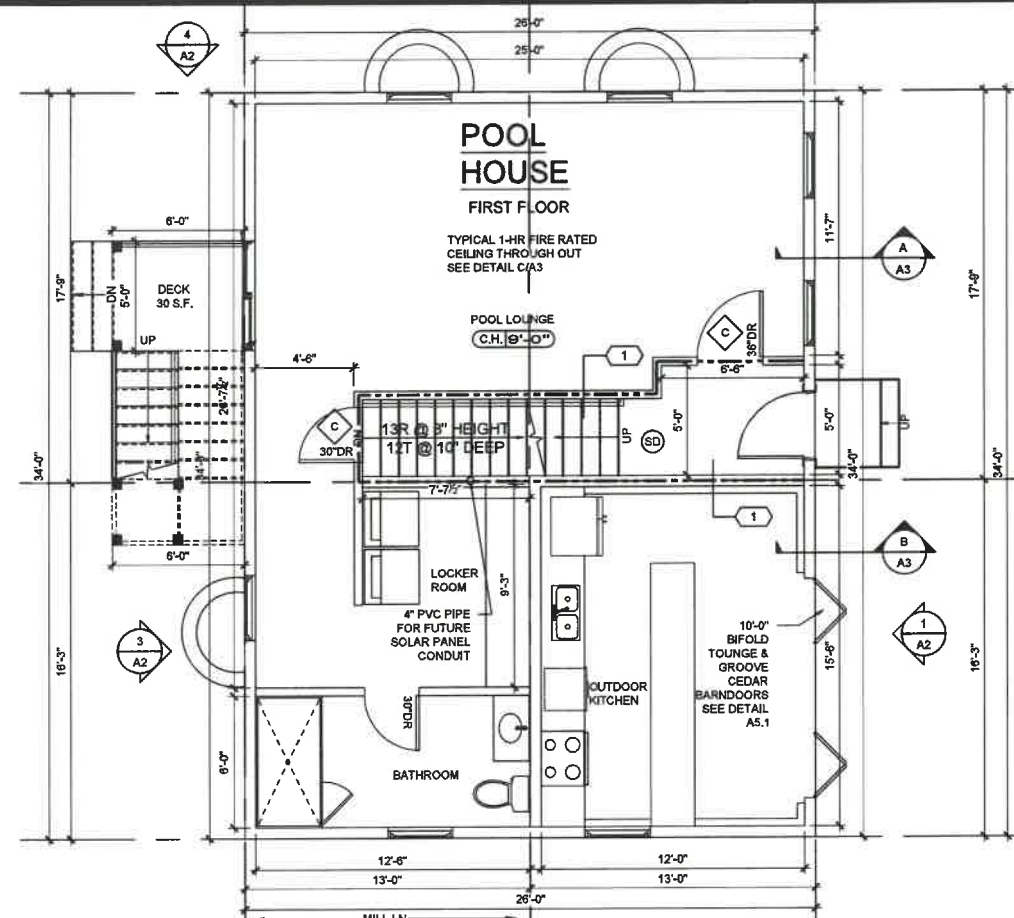
709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

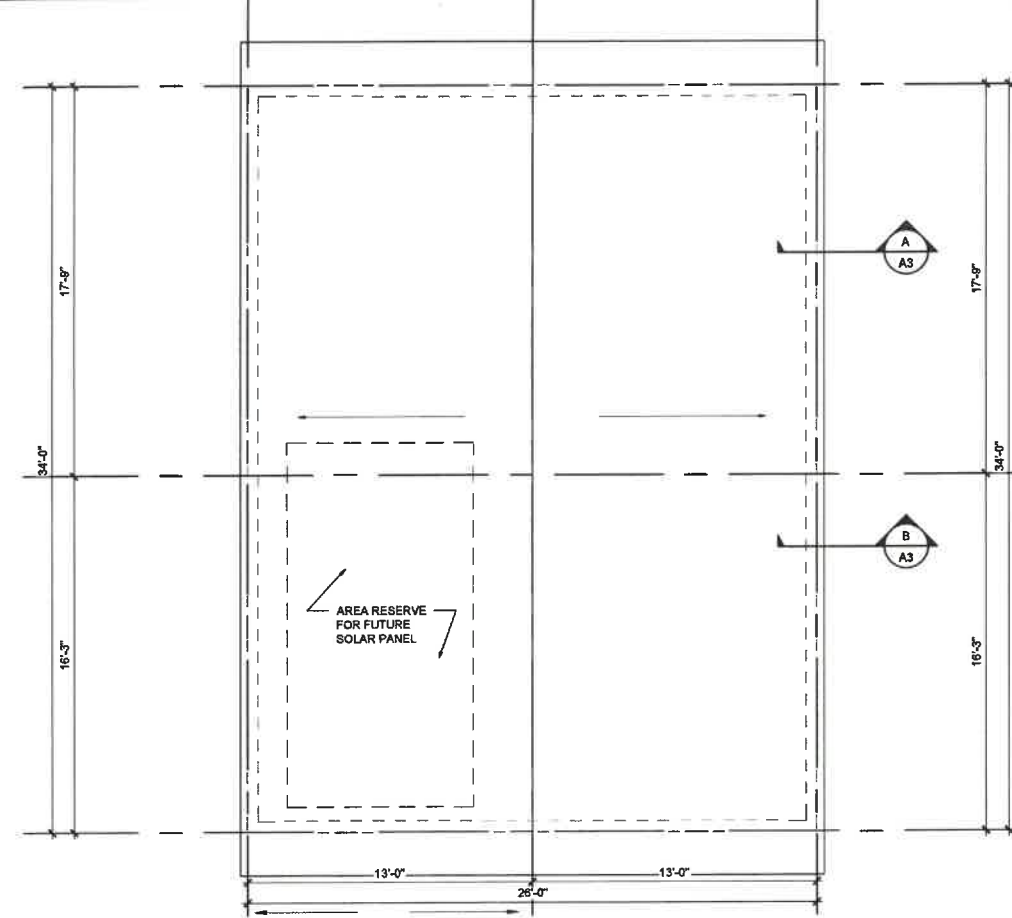
SHEET TITLE

PROPOSED
ARCHITECTURAL
SITE PLAN

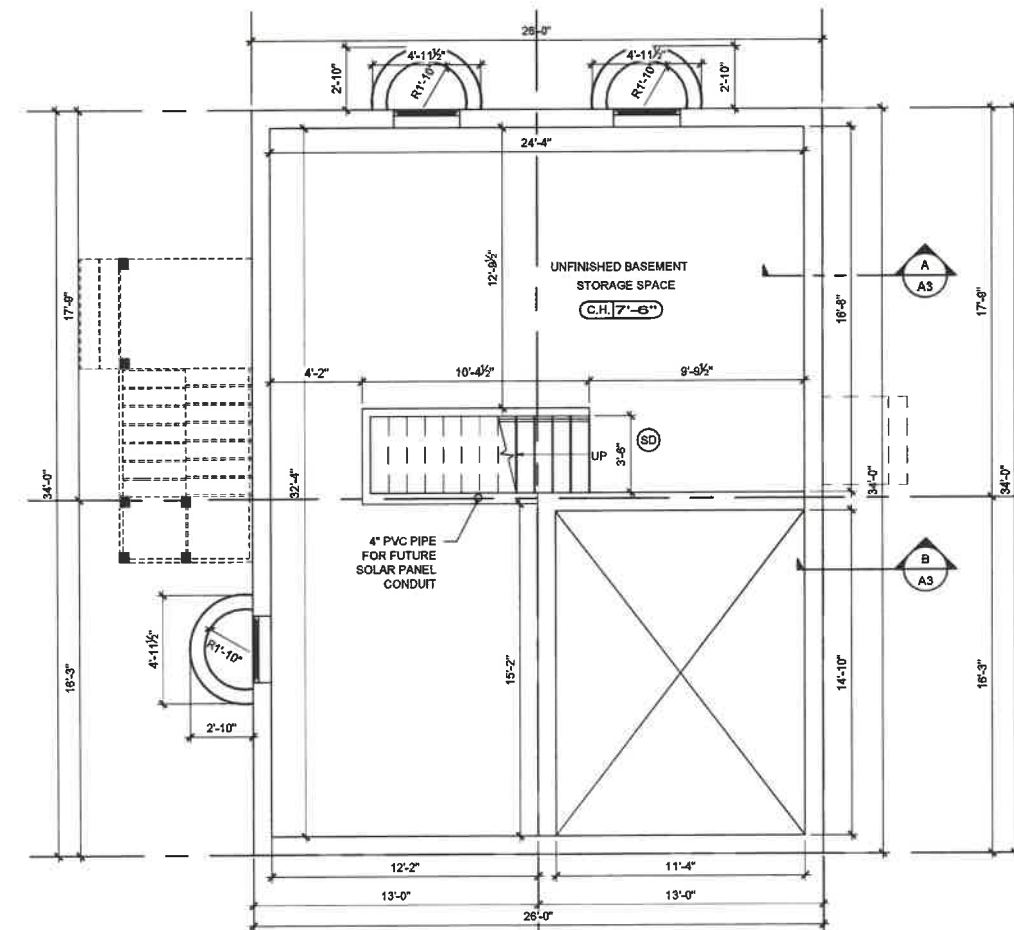
DRAWN: K.T.J.Z.	DRAWING NO: A1.0
SCALE: NOTED	
DATE: 05/14/2025	
CHECKED:	
SHEET 1 OF	



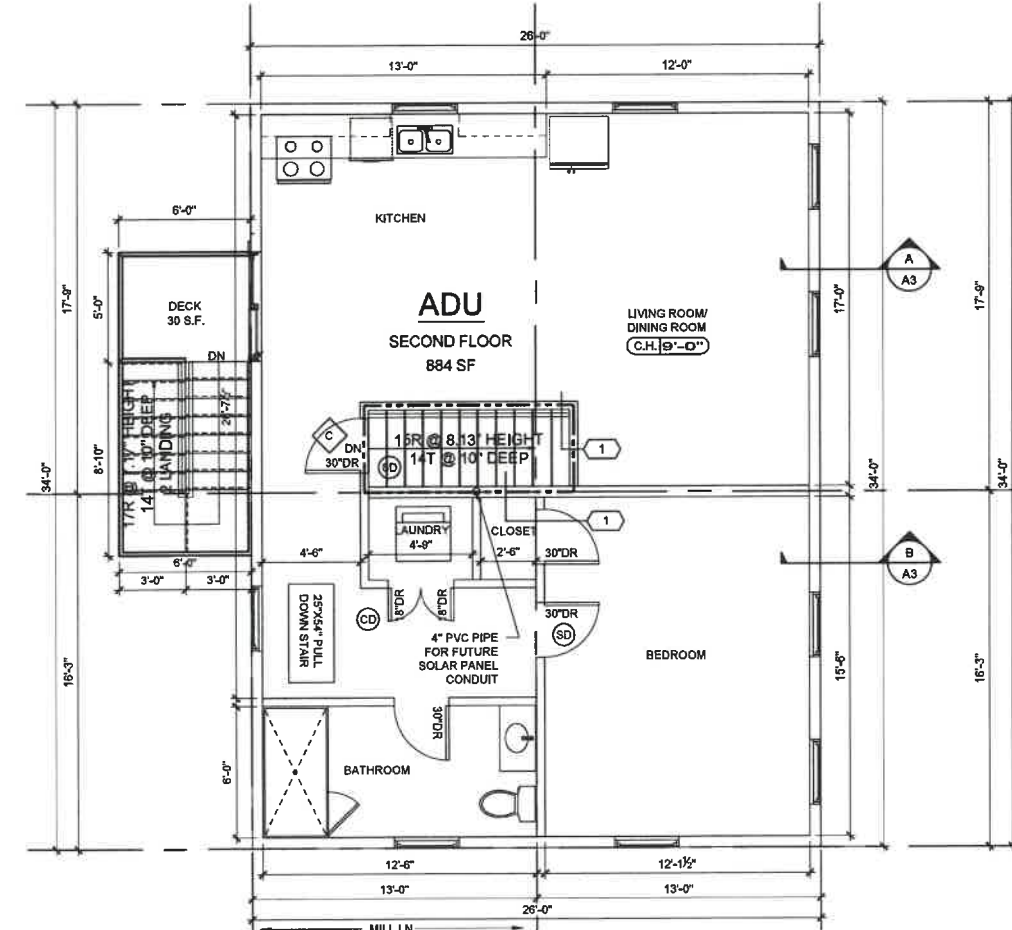
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"



PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL SUBMISSION #2	7/24/2025
2	JZ	HISTORICAL COMMENT	11/14/2025
3	JZ	HISTORICAL COMMENT	1/22/2026
4	JZ	HISTORICAL COMMENT	02/06/2026
5	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

NEW POOL HOUSE
WITH ADU ABOVE

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

**PROPOSED POOL
HOUSE W/ ADU ABOVE
FLOOR PLANS**

DRAWN: K.T./J.Z.

SCALE: NOTED

DATE: 05/14/2025

CHECKED:

SHEET OF

A1

ALL NEW WINDOWS SHALL BE 6/6 SDL.

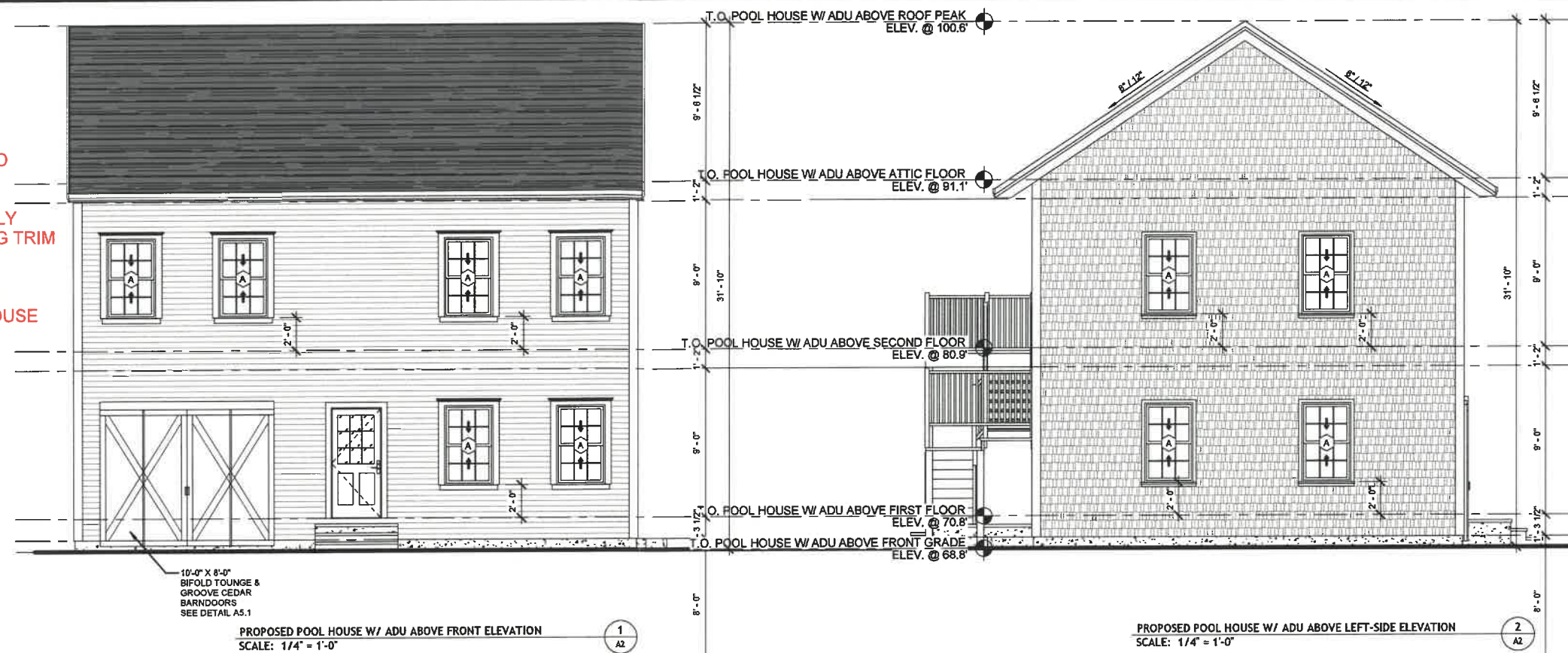
ALL DOORS SHALL MATCH THE EXISTING MAIN HOUSE PROFILES.

ALL SIDING WILL BE PREVIOUSLY SUBMITTED SIDING TO MATCH THE MAIN HOUSE EXISTING PROFILE

ALL WINDOW TRIMS TO BE INSTALLED WITH PREVIOUSLY
SUBMITTED TRIM TO MATCH THE MAIN HOUSE EXISTING TRIM
PROFILES

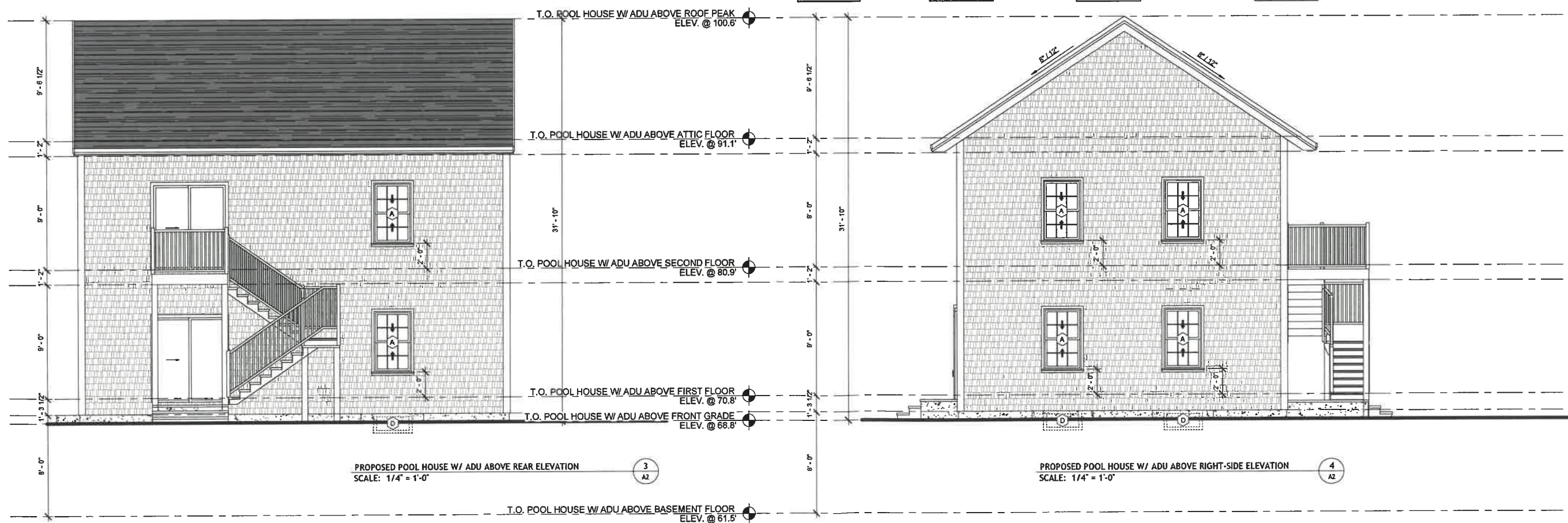
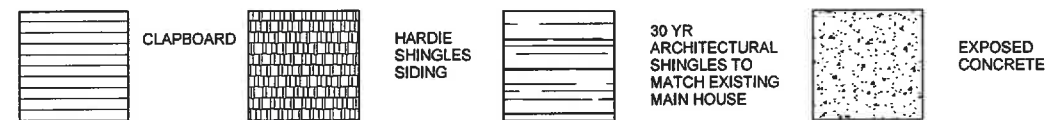
ALL FASCIA AND SOFFIT TRIMS TO BE INSTALLED WITH PREVIOUSLY SUBMITTED TRIM TO MATCH THE MAIN HOUSE EXISTING PROFILES

ALL GUTTERS SHALL BE INSTALLED WITH
NEW ALUMINUM GUTTERS.



WINDOW SCHEDULE							
ITEM	BRAND	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	WIDTH	HEIGHT	QTY	REMARK
A		3' - 0"	4' - 10"	2' - 11 1/2"	4' - 9 1/2"	16	DOUBLE HUNG
D		3' - 0 1/2"	1' - 6 1/4"	3' - 0"	1' - 6"	3	AWNING

GRAPHIC LEGEND



606 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBTARCHITECT.COM
TEL: (617) 404-8182

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REVISIONS

[illegible]

PROJECT

NEW POOL HOUSE
WITH ADU ABOVE

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

**PROPOSED POOL
HOUSE W/ ADU
ABOVE
ELEVATIONS**

DRAWN: JZ

DRAWING NO:

SCALE: 1/4" = 1'-0"

DATE: 10/20/2025

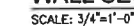
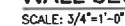
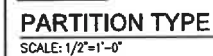
CHECKED:

SHEET OF

A2



SCALE: $1-1/2''=1'-0''$

PROJECT

PROJECT NO. 25065

SHEET TITLE

A3



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REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

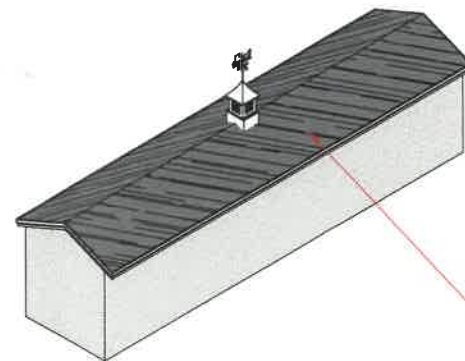
SHEET TITLE

PROPOSED FRONT
PERSPECTIVE VIEW

DRAWN: JZ
SCALE:
DATE: 10/20/2025
CHECKED:
SHEET OF

DRAWING NO:

A4.1



10'-0"X8'-0"
BIFOLD TOUNGE &
GROOVE CEDAR BARNDOORS
SEE DETAIL A5.1



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK

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REVISIONS

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4	TN	HISTORICAL COMMENT	01/02/2026
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7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ

SCALE:

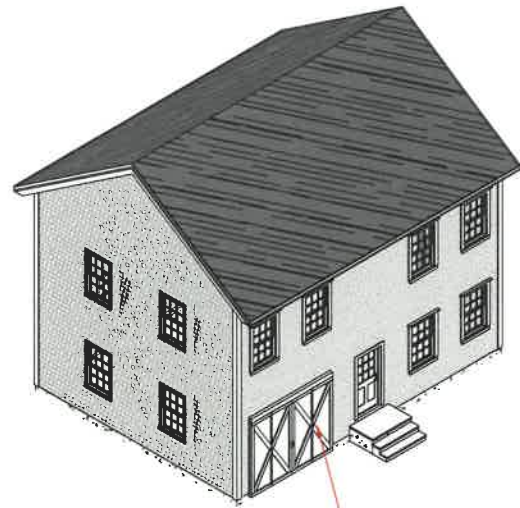
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CHECKED:

SHEET OF

DRAWING NO:

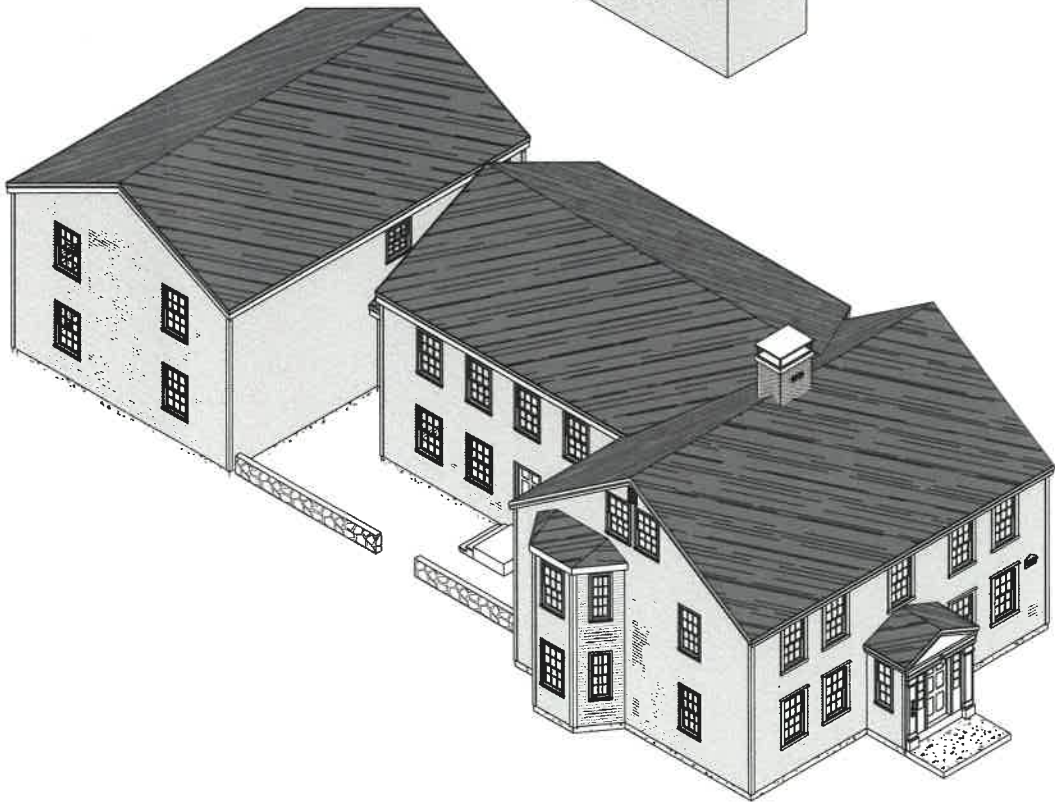
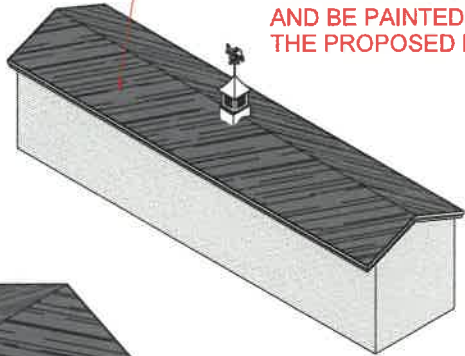
A4.2



10'-0"X8'-0"
BIFOLD TOUNGE &
GROOVE CEDAR BARNDOORS
SEE DETAIL A5.1

EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



ARCHITECT
606 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBTARCHITECT.COM
TEL: (617) 404-8182

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4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ

SCALE:

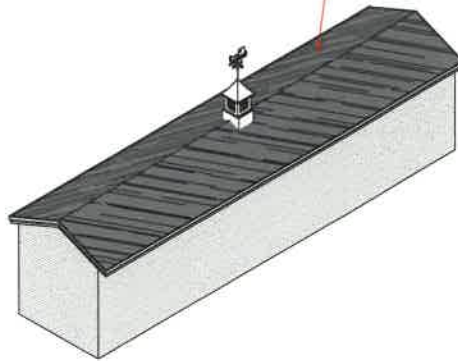
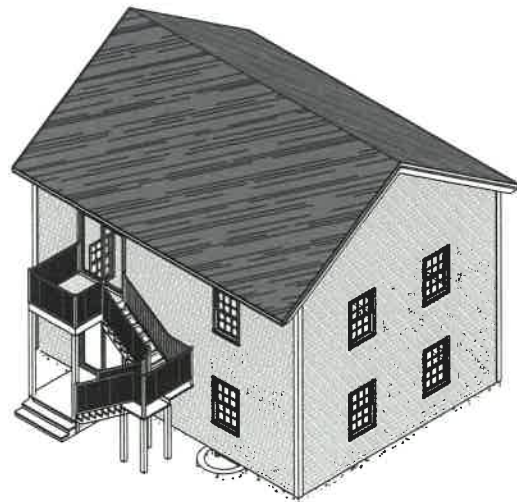
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CHECKED:

SHEET OF

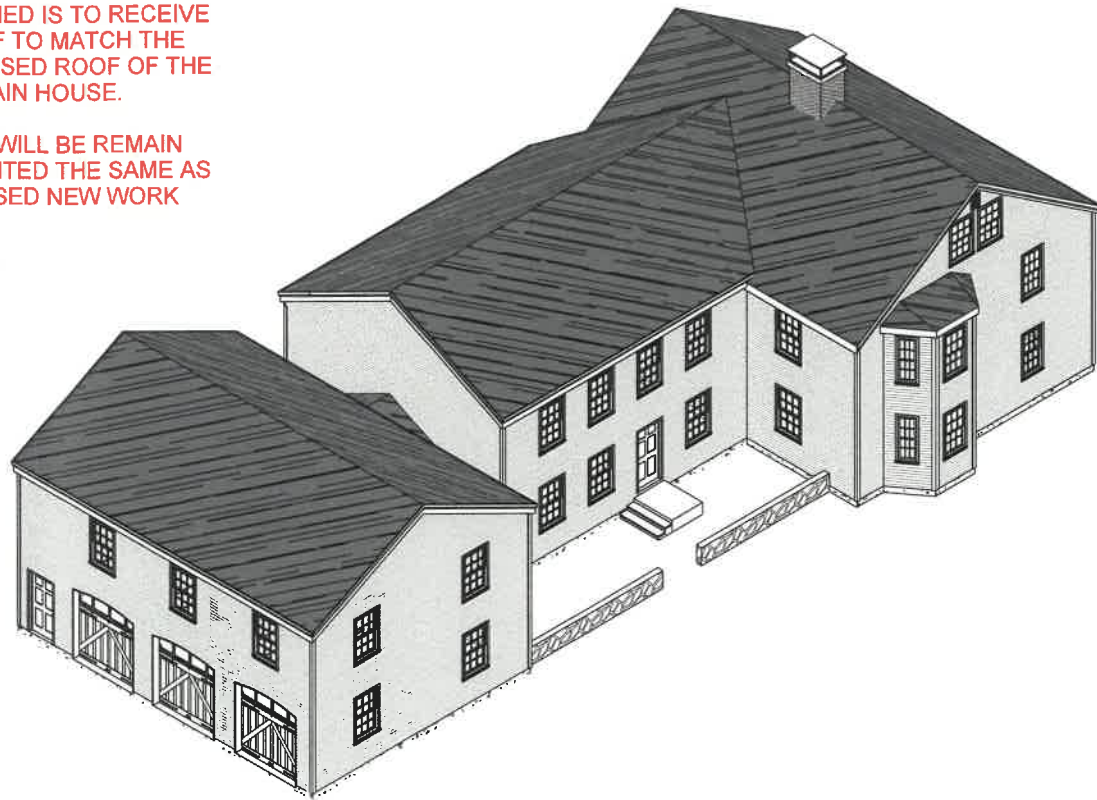
DRAWING NO:

A4.3



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



606 WASHINGTON STREET, QUINCY, MA 02169
ADMIN@JCBTARCHITECT.COM
TEL: (617) 404-3182

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4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/08/2026
7	JZ	HISTORICAL COMMENT	02/28/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ

DRAWING NO:

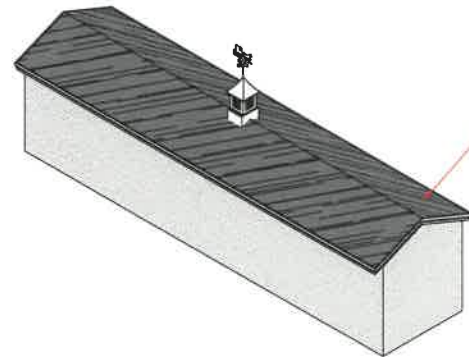
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DATE: 10/20/2025

CHECKED:

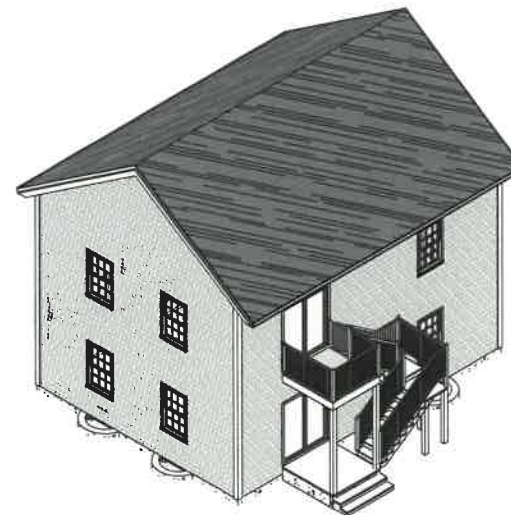
SHEET OF

A4.4



EXISTING SHED IS TO RECEIVE
A NEW ROOF TO MATCH THE
NEW PROPOSED ROOF OF THE
EXISTING MAIN HOUSE.

THE SIDING WILL BE REMAIN
AND BE PAINTED THE SAME AS
THE PROPOSED NEW WORK



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REVISIONS

NO.	BY	DESCRIPTION	DATE
4	TN	HISTORICAL COMMENT	01/02/2026
6	JZ	HISTORICAL COMMENT	02/09/2026
7	JZ	HISTORICAL COMMENT	02/26/2026

PROJECT

EXISTING 3-FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
PERSPECTIVE VIEW

DRAWN: JZ

SCALE:

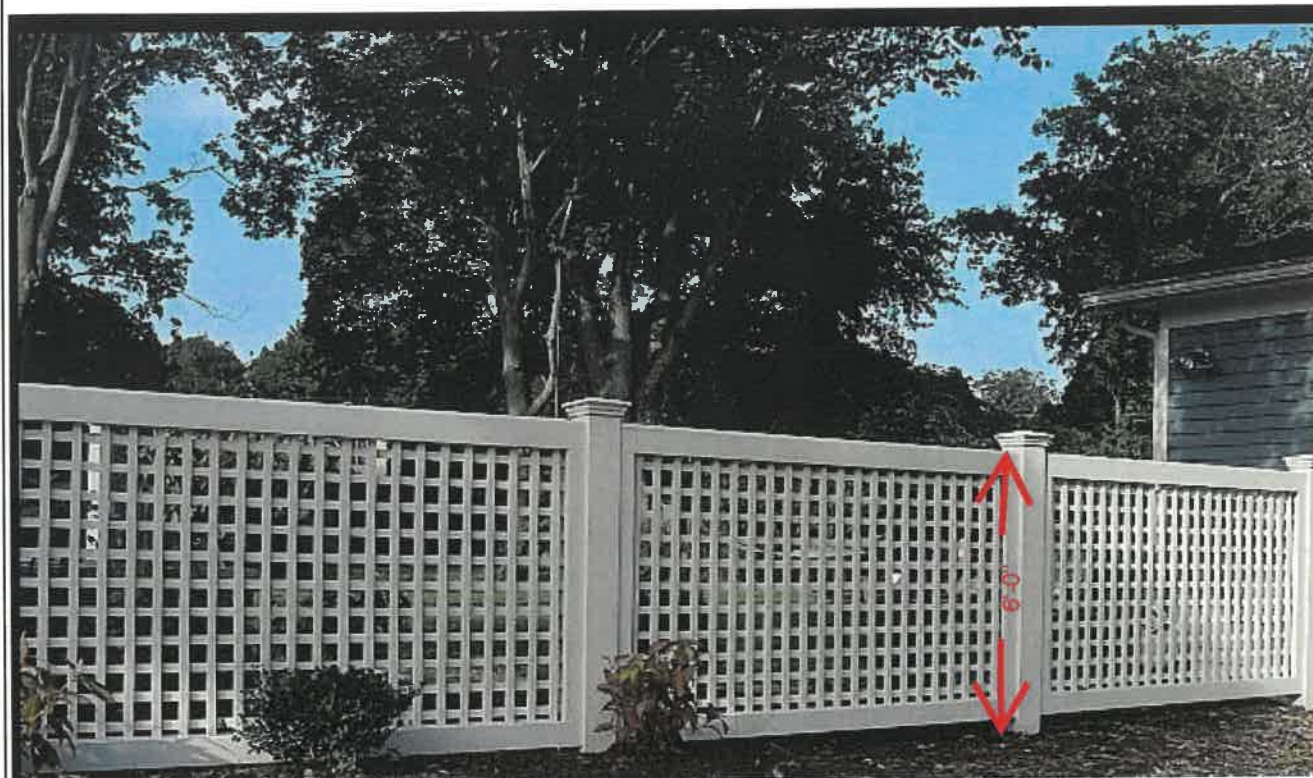
DATE: 10/20/2025

CHECKED:

SHEET OF

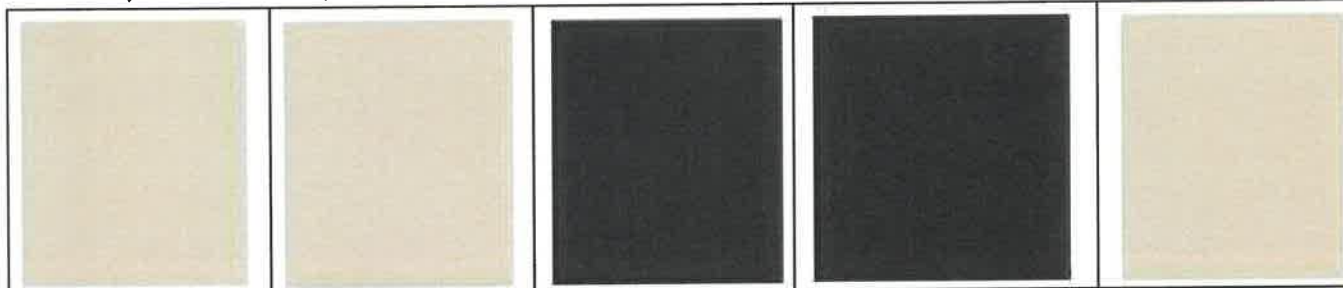
DRAWING NO:

A4.5



PROPOSED 6' -0 " HAND BUILT CEDAR LATTICE FENCING

EXTERIOR PAINT CHOICES, ALL EXTERIOR SIDING, TRIM, DOORS, AND WINDOW.



1. SIDING:
JEWETT WHITE

2. TRIM:
JEWETT WHITE

3. WINDOW SASHES
AND ENTRY DOORS:
SAYWARD PINE H0101

4. GUTTERS:
SAYWARD
PINE H0101

5. LEADERS:
JEWETT WHITE



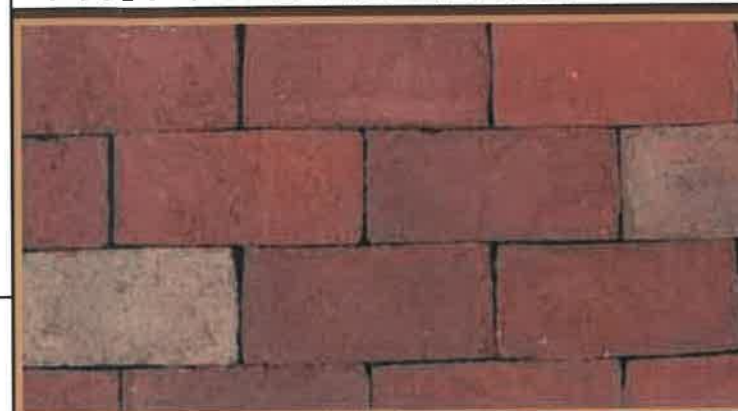
PROPOSED ENTRY
DOOR HARDWARE



PROPOSED EXTERIOR LIGHTS



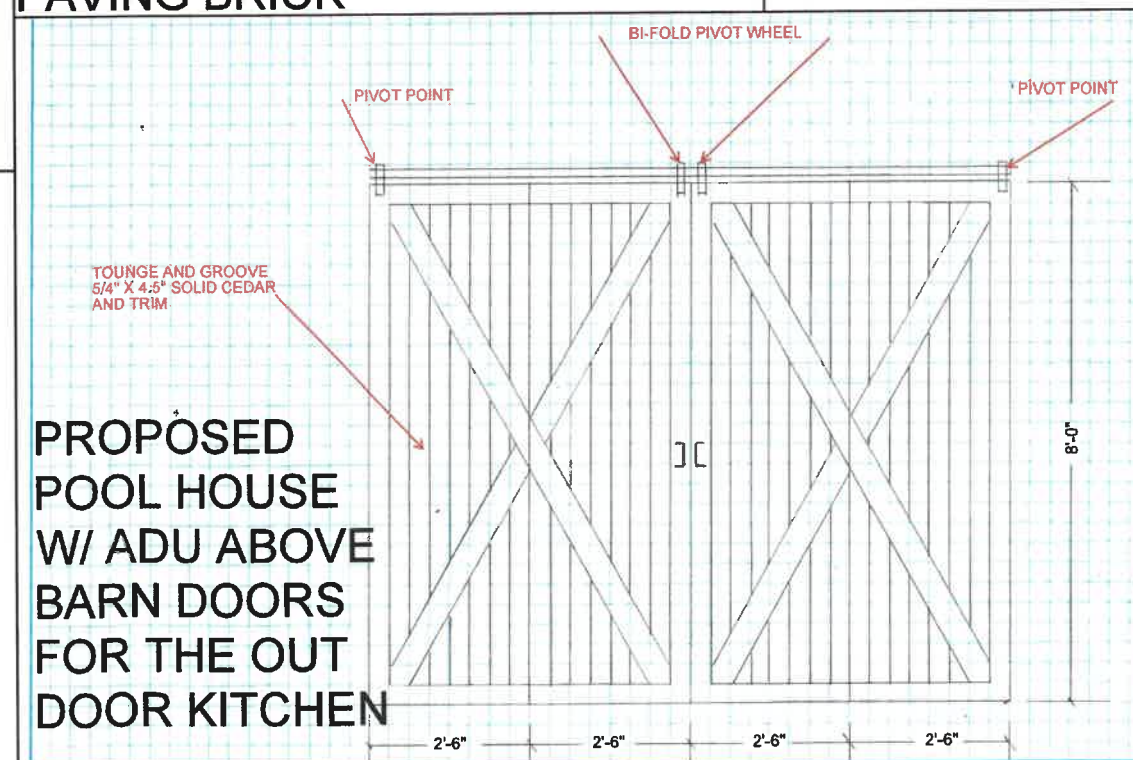
PROPOSED ASPHALT ROOFING



BOSTON CITY HALL
PAVING BRICK



RECLAIMED STONE WALLS



PROPOSED
POOL HOUSE
W/ ADU ABOVE
BARN DOORS
FOR THE OUT
DOOR KITCHEN

(ALL ITEM DETAILS SEE THE MATERIAL SPEC SHEET)

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	JZ	HISTORICAL COMMENT	02/28/2026

PROJECT

EXISTING MULTI FAMILY
ALTERATION & ADDITION

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

PROPOSED
WORK
DETAILS

DRAWN: K.T.J.J.Z

SCALE: NOTED

DATE: 2/8/2026

CHECKED:

SHEET OF

DRAWING NO:

A5.1

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE, MIXED AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONTROL ENGINEER.
2. MAXIMUM WATER/CEMENT RATIO SHALL NOT EXCEED 5.60.
3. MAXIMUM SLUMP SHALL NOT EXCEED 3".
4. MAXIMUM COARSE AGGREGATE DIAMETER SHALL NOT EXCEED 3/4" DIAMETER.
5. ALL SLABS ON GRADE SHALL BE POURED IN ALTERNATING PANELS NOT EXCEEDING 600 SQUARE FEET. OTHERWISE, THE SLAB SHALL BE SAW-CUT WHILE THE CONCRETE IS STILL GREEN, IN PANELS NOT TO EXCEED 900 SQUARE FEET.
6. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL JOINTS, EXCEPT WHERE SPECIFICALLY LOCATED ON DRAWINGS.
7. VERTICAL CONSTRUCTION JOINTS AND STOPS IN THE CONCRETE WORK SHALL BE MADE AT MID-SPANS.
8. PROVIDE DOWELS OF AN AREA EQUAL TO $0.002 \times$ GROSS CONCRETE AREA, AT CONSTRUCTION JOINTS. THE DOWELS SHALL BE 3'-0" LONG, PLACED AT THE OPPOSITE FACE OF THE SECTION FROM THE MAIN REINFORCING, OR, WHERE THERE ARE NO MAIN REINFORCING, PLACED AT THE CENTER OF THE CONCRETE SECTION.
9. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT THE END OF 28 DAYS
 - A. ALL CONCRETE, EXCEPT AS NOTED 3,000 PSI.
 - B. EXTERIOR CONCRETE: SLABS, PADS, WALKS, ETC. 4,000 PSI.

1. ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
2. ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
4. CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:
 - A. FOOTINGS 3 INCHES
 - B. SIDES OF FOUNDATIONS WALLS.
EXPOSED FACES OF FOUNDATIONS.
SIDES OF COLUMNS/PIERS, SLABS
ON GRADE FROM TOP SURFACE 2 INCHES
 - C. INTERIOR FACES OF FOUNDATIONS,
TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS 1 INCHES
5. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT.
2. ALL FOOTINGS SHALL BE CARRIED DOWN TO ELEVATIONS AS INDICATED ON THE DRAWINGS, OR DEEPER, AS NECESSARY TO OBTAIN THE SOIL BEARING PRESSURE AS REQUIRED.
3. ALL CONCRETE SHALL BE POURED IN THE DRY ONLY.
4. NO CONCRETE SHALL BE POURED ON FROZEN GROUND.
5. THE BOTTOM OF ALL EXTERIOR GRADE BEAMS SHALL NOT BE LESS THAN 4'-0" BELOW THE FINISH EXTERIOR GRADE.
6. POURED, OTHERWISE, WALLS AND GRADE BEAMS MUST BE ADEQUATELY SHORED FROM OVERTURNING.
7. THE MINIMUM REINFORCING FOR ALL GRADE BEAMS AND FOUNDATION WALLS SHALL BE 2-#6 CONTINUOUS AT TOP AND 2-#6 CONTINUOUS AT BOTTOM.
8. LAP ALL BARS 36 DIAMETERS AND AS PER REINFORCING SPECIFICATIONS.
9. PROVIDE CORNER BARS AT CORNERS AND INTERSECTIONS.

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
2. ALL FRAMING LUMBER SHALL BE #2 HEM-FIR, OR BETTER, HAVING A MINIMUM: FB=120 PSI, FV=70 PSI, E=1,300,000 PSI.
3. ALL LVL LUMBER DENOTED ON PLANS SHALL HAVE A MINIMUM: AND NOT MORE THAN 8'-0" O.C.
4. ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
5. ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
6. PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
7. PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
8. PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
9. PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
10. PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
11. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS. AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT 45°, SIMPSON TYPE "CWB", OR EQUAL.
12. ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" DIAMETER BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

CEMENT SHALL BE AN AMERICAN PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE II OR TYPE III FOR COLD WEATHER CONSTRUCTION (GRAY OR WHITE AS APPROPRIATE).

MIX

THE MORTAR USED TO TUCK POINT THE JOINTS SHALL CONSIST OF ONE PART PORTLAND CEMENT, ONE PART TYPE S HYDRATE LIME, AND SIX PARTS SAND, PROPORTIONED BY VOLUME.

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SAMPLE PANEL

A. A SECTION OF WALL SHALL BE POINTED FOR THE PURPOSE OF CHOOSING A DESIRED MORTAR COLOR, WHICH MATCHES THE EXISTING COLOR AND TO DEMONSTRATE THE SPECIFIED WORKMANSHIP, DEPTH, AND TOOLING OF THE JOINTS REQUIRED FOR USE ON THE JOB. CONTRACTOR SHALL CUT JOINTS AND LEAVE SECTION UNPOINTED UNTIL THE AUTHORITY CAN CHECK DEPTH OF CUT.

B. TWO OR MORE SAMPLE AREAS MAY BE REQUIRED BEFORE ONE APPLICANT AFTER APPROVAL OF ONE, THE OTHERS SHALL BE BROUGHT UP TO COLOR CONFORMANCE BY BRUSH GROUTING.

- A. CARBON AND DIRT SHALL BE REMOVED WITH DETERGENT AND STIFF BRUSHES, MOSS OR FUNGUS SHALL BE REMOVED WITH A SOLUTION OF BLEACH AND WATER.
- B. ALL MORTAR THAT IS LOOSEENED BY HAND TOOLS IS REQUIRED TO BE REMOVED.

AND REPLACEMENT OF ALL BRICKS MISSING, BROKEN OR CRACKED. PART OF THE CONTRACT WORK ON ALL BUILDING FACES DESIGNATED FOR POINTING. BRICKS REPLACED SHALL BE CLOSE-BURNED OF A TYPE AND SIZE TO MATCH EXISTING AS HARDLY AS POSSIBLE.

D. THE JOINTS SHALL BE THOROUGHLY VACUUMED, BLOWN CLEAN, OR BRUSHED TO REMOVE ALL LOOSE MATERIALS, AND CLEANED WITH A HIGH PRESSURE HOSE STREAM. IF THE OPEN JOINTS CANNOT RECEIVE MORTAR FOR ANY REASON WITHIN A TWELVE (12) HOUR PERIOD AFTER REMOVAL OF EXISTING MORTAR, OR INCLEMENT WEATHER IS FORECAST WHICH WOULD CAUSE A DELAY IN COMPLETING THE REMEDIAL WORK, ONE OR SEVERAL AREAS, THE CONTRACTOR SHALL COVER THE OPEN JOINTS WITH POLYETHYLENE COVERING OR OTHER SUITABLE MATERIAL IN ORDER TO AVOID WATER PENETRATION INTO THE BUILDING AND POSSIBLE WATER DAMAGE. THE CONTRACTOR SHALL SECURE THE PROTECTIVE COVERING WITH TAPE OR OTHER ACCEPTABLE METHODS, AND MAINTAIN THE COVERING UNTIL THE WORK CAN BE COMPLETED UNDER FAVORABLE WEATHER CONDITIONS. CUT OUT MORTAR JOINTS SHALL REMAIN OPEN UNTIL INSPECTED BY THE ARCHITECT. EXISTING MORTAR NOT REMOVED THOROUGHLY AS REQUIRED SHALL BE REASON FOR REJECTION BY THE ARCHITECT.

- A. TO AVOID SHRINKAGE AND IMPROVE WORKABILITY, POINTING MORTAR SHALL BE PRE-HYDRATED. THOROUGHLY MIX ALL MORTAR INGREDIENTS DRY. WHEN READY FOR USE, MIX INGREDIENTS AGAIN AND ADD ONLY ENOUGH WATER TO PRODUCE A DAMP WORKABLE MIX WHICH WILL RETAIN ITS FORM WHEN PRESSED INTO A BALL. THE MORTAR SHALL BE KEPT IN THIS MOIST CONDITION FOR ONE TO TWO HOURS, AND THEN SUFFICIENT WATER ADDED TO BRING IT TO THE PROPER CONSISTENCY. THAT IS, SOMEWHAT DRIER THAN CONVENTIONAL MASONRY MORTAR.
- B. TO INSURE A GOOD BOND TO THE EXISTING MORTAR, BRICK AND STONEWORK, WET THE EXISTING JOINTS THOROUGHLY BEFORE APPLYING FRESH MORTAR. THE MORTAR TO BE RECEIVED IN MORTAR IS THERE IS EVIDENCE OF FREESTANDING WATER, IN SUCH CASES, ALLOW WATER TO SOAK INTO THE WALL, THE NEW MORTAR SHALL BE PACKED TIGHTLY IN 1" LAYERS UNTIL THE JOINT IS FILLED, THEN TOOLED TO A SMOOTH, CONCAVE SURFACE. NOTE CAREFULLY: FLUSH JOINTS WILL NOT BE ACCEPTABLE.
- C. THE CONTRACTOR SHALL PROTECT EXISTING ROOFING, WINDOWS, DOORS, STONEWORK, FLASHING, CAULKING, TRIM AND OTHER MATERIALS DURING THE COURSE OF OPERATIONS. ALL DAMAGES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THEIR EXPENSE AND TO THE COMPLETE SATISFACTION OF THE ARCHITECT.
- D. AFTER NEW MORTAR IS THOROUGHLY SET AND CURED, REMOVE LARGE PARTICLES OF MORTAR WITH WOOD PADDLES AND SCRAPERS PRIOR TO BRUSHING. BRUSH WITH STIFF BRUSH OR WIRE BRUSHES NECESSARY WITH CARE TO PREVENT INJURY TO EXISTING BRICK AND STONEWORK. THE WALL AREAS WHERE POINTING HAS TAKE PLACE SHALL BE CLEANED WITH WATER TO FLUSH OFF ALL LOOSE MORTAR AND DIRT. THESE AREAS SHALL THEN BE SCRUBBED DOWN WITH A SOLUTION OF ONE PART OF SODIUM PHOSPHATE AND ONE PART OF CUP OF HOUSEHOLD DETERGENT DISSOLVED IN ONE GALLON OF CLEAN WATER.

THE CONTRACTOR SHALL GUARANTEE HIS WORK, LABOR, AND MATERIALS IN WRITING FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE BASE BID CONTRACT. SHOULD THE POINTED JOINTS EXECUTED UNDER THIS CONTRACT FAIL WITHIN THE GUARANTEED PERIOD AS DETERMINED BY THE ARCHITECT, THE CONTRACTOR SHALL MAKE SUITABLE REPAIRS INCLUDING AN ADDITIONAL APPLICATION OF THE LIQUID REPELLENT COATING AT HIS OWN EXPENSE.

AT COMPLETION, REMOVE ALL EXCESS MATERIAL, DEBRIS, AND RUBBISH RESULTING FROM THE WORK OF THIS SECTION FROM THE JOB SITE. THE GROUNDS SHALL BE LEFT CLEAN.

	LIVE LOAD	DEAD LOAD
ROOF	40 P.S.F. SNOW LOAD	20 P.S.F.
ATTIC (STORAGE ONLY)	20 P.S.F.	10 P.S.F.
2ND FLOOR	40 P.S.F.	20 P.S.F.
1ST FLOOR	40 P.S.F.	20 P.S.F.
DECK	40 P.S.F.	10 P.S.F.
GUARDS & HANDRAIL	200 P.S.F.	

SPAN OF OPENING	SIZE: 2X6 STUDS	SIZE: 2X4 STUDS
LESS THAN 4'-0"	3 - 2X8	2 - 2X8
UP TO 6'-0"	3 - 2X10	2 - 2X10
UP TO 8'-0"	3 - 2X12	2 - 2X12

BASE BOARD

FINISHED FLOOR

3/4" ADVANTECH SUBFLOOR

T.O. 1ST FLOOR

2X JOIST (W/3" INSULATION)

2X8 TOP PLATE

2X8 PT PLATE

T.O. CONC. WALL

STRAPPING 16" O.C.

1/2" GWB

POLYETHYLENE VAPOR BARRIER

2-#6 REBAR @ TOP & BOTTOM

5/8" ANCHOR BOLTS @ 32" O.C.

10" CONC. FOUNDATION WALL

2" RIGID INSULATION

#4 @ 48" O.C.E.W.

10" CONC. FOUNDATION WALL

1/2" PREMODULATED JOINT FILLER

4" CONC. SLAB

6X8X10/10 WELED WIRE MESH

2" CONTINUOUS RIGID INSULATION

B.O. FOOTING

6" COMPACTED GRAVEL UNDISTURBED GRADE

GRAVEL FILL

4" PERFORATED DRAIN PIPE

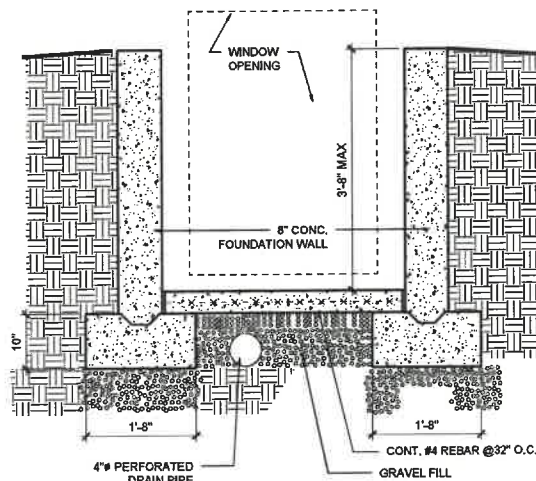
3- #4 CONTINUOUS

2'-0"

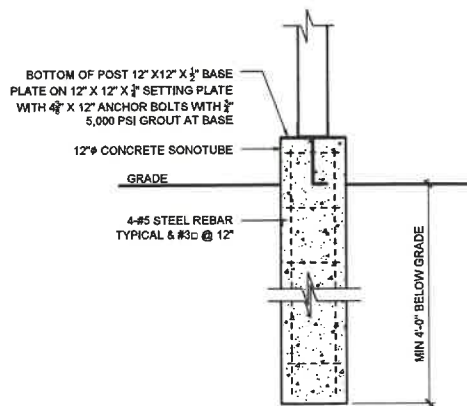
10" MIN

6'-0" MIN

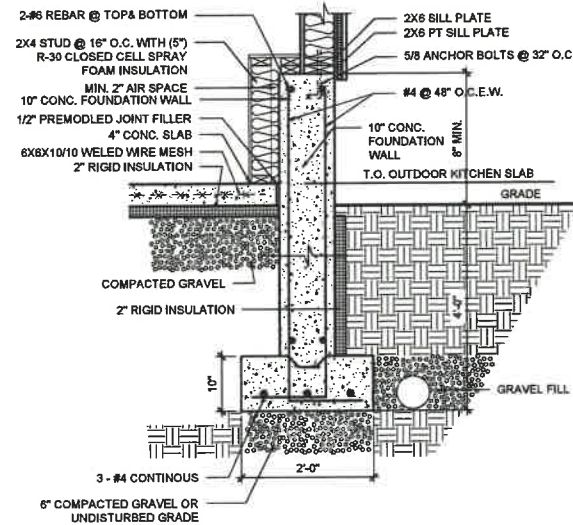
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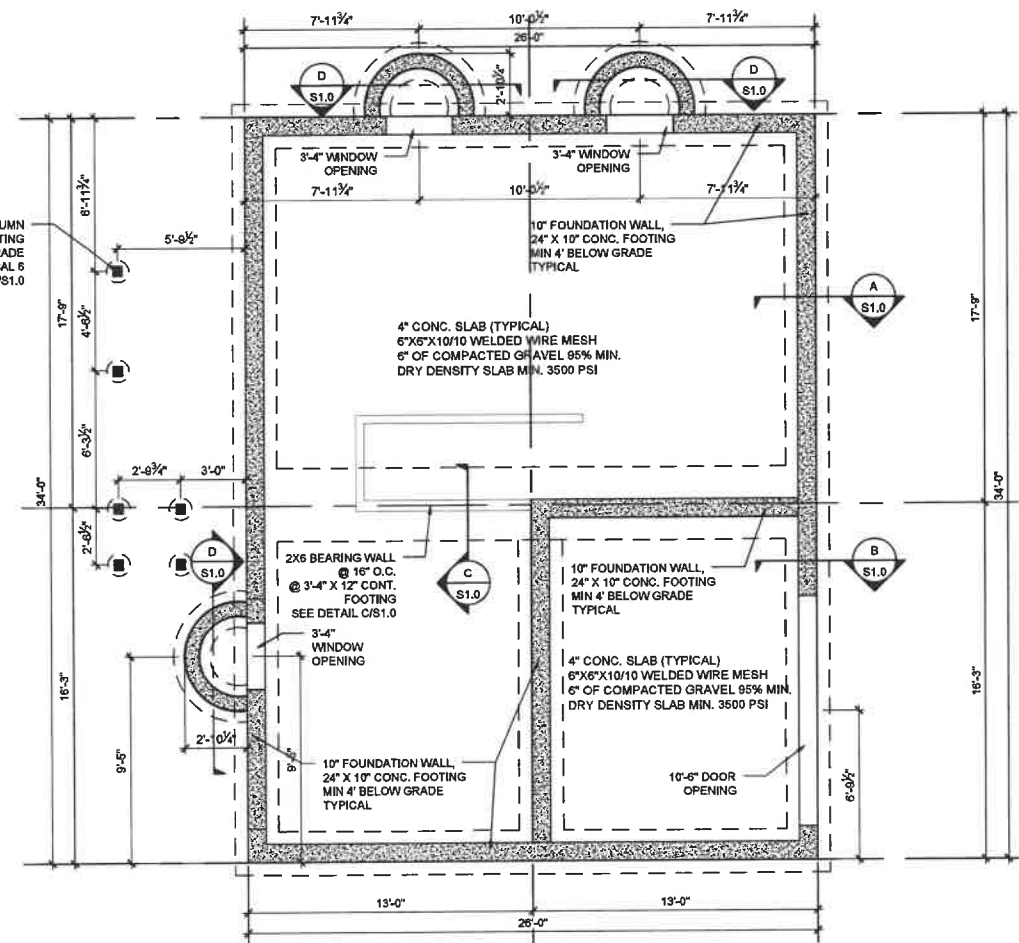
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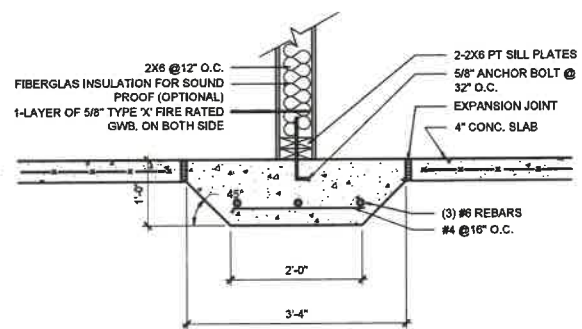
SCALE: $\frac{3}{4}" = 1' - 0"$ S1.0



SCALE: $3/4" = 1'-0"$



SCALE: 1/4"=1'-0"



SCALE: $3/4"=1'-0"$ S1.0

CONSULTANT

REGISTRATION

[illegible]

PROJECT

**NEW POOL HOUSE
WITH ADU ABOVE**

709 MAIN ST,
HINGHAM, MA

PROJECT NO. 25065

SHEET TITLE

**STRUCTURAL
NOTES & DETAILS
FOUNDATION PLAN**

DRAWN: KT/JZ	DRAWING NO:
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SCALE: NOTED

DATE: 4/6/2026

CHECKED:

SHEET OF

S1

