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February 3, 2026

## **Via Hand-Delivery**

Tracy Shriver, Chair  
Hingham Planning Board  
210 Central Street  
Hingham, MA 02043

### **Re: Preliminary Subdivision Plan**

Dear Chair Shriver and Members:

As you know, this office represents 177 Old Derby Development, LLC (“Bristol”) with respect to land located off of Old Derby Street and Whiting Street (Route 53), in Hingham. On behalf of Bristol, we submit for further discussion and consideration by the Board an updated Preliminary Subdivision Plan for the proposed subdivision of 104± acres of the above-referenced land. In addition, we will provide additional information related to the process moving forward.

#### **1. Preliminary Plan Updates**

The Preliminary Plan has been updated to comply, with very limited exceptions, to the major street criteria of the Board’s Subdivision Rules and Regulations. Specifically, the plan has been updated to depict a roadway pavement width of 40 feet and sidewalks on both sides of the roadway, as required for a major street. Based on the plan updates, the only waivers that would be required for the layout shown on the updated plan would be to design to secondary street standards for the minimum centerline radii, in order to minimize wetland buffer zone impact(s), and a reduction in the width of the grass strip (from the required 7’ to 3’) within the existing Old Derby Street layout.

#### **2. Information and Materials to be provided for Definitive Plan process**

As discussed with the Board, Bristol seeks to design the roadway pavement to be a safe width based on the design standards to be recommended by its professional traffic engineer based on a study to be conducted, and submitted to the Board, as part of the Definitive Plan process. Rather than designing to the general standards, Bristol will be seeking to “right size” the roadway to provide safe and convenient travel through the area. As expressed to the Board, Bristol is seeking to avoid an overly expansive pavement area, like that constructed for Libbey Parkway in

Weymouth or Longwater Drive in Norwell, that is not in keeping with the proposed development. Similarly, as part of the Definitive Plan process Bristol may seek a waiver to construct a sidewalk on one side of the roadway, depending on anticipated need and wetland buffer constraints. This will be based on additional information and materials that will be prepared for the Definitive Plan process.

The Definitive Plan process will be based upon a full Traffic Impact Study for the proposed subdivision that will be based on proposed and/or anticipated uses of the subdivision lots. The Applicant understands that the phasing of the subdivision and future development will be a component of the review process, and plans to address this as part of the Definitive Plan process. The Traffic Impact Study will address the potential for future additional connectivity through adjoining land controlled by the Bristol family in Weymouth, as well as the potential for cut-through traffic. As previously indicated, there are significant existing impediments to establishing any connection through Weymouth to Pleasant Street. Notwithstanding, we concur with the Board that the potential future connection should be studied and accounted for when the Applicant proceeds through the Definitive Plan process. Moreover, the project will require Massachusetts Environmental Policy Act (MEPA) review. Thus, as the Applicant proceeds with the MEPA review process, the future development and potential connectivity of such lands in Weymouth (and Hingham) will be accounted for and adequately addressed.

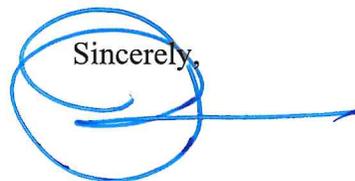
### **3. Approval of Preliminary Plan**

As the Board is aware, the primary purpose of a preliminary plan is to enable the applicant and the Board to discuss and clarify any issues relating to the preliminary subdivision plan before a definitive plan is prepared by the applicant. Recent Board comments to the original plan have been incorporated in the current Preliminary Plan. At this juncture, Bristol requests that the Board vote to approve the Preliminary Plan with a condition that the Applicant shall provide requisite information and materials to support any waivers to be requested as part of the Definitive Plan process, including but not limited to a Traffic Impact Study prepared by a Professional Traffic Operations Engineer.

We note that, on January 7, 2026, the Board of Health voted to approve the plans dated December 2, 2025 for the Preliminary Subdivision Old Street Extension and Old Derby Connector “based on the preliminary and limited information provided.” A copy of the approval is attached hereto as Attachment A.

We look forward to appearing before the Board on February 9<sup>th</sup> for continued discussion and consideration by the Board of the Preliminary Plan. Thank you for your attention to this matter.

Sincerely,



Jeffery A. Tocchio

**Attachment A**



**TOWN OF HINGHAM**  
**BOARD OF HEALTH**  
210 Central Street, Hingham, MA 02043-2762  
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January 8, 2026

To: Planning Board

From: Susan Sarni, Executive Health Officer

Re: Preliminary Subdivision Plan 177 Old Derby Development LLC for Old Derby Street Extension and Old Derby Connector, Hingham MA 02043

On January 7, 2026 the Board of Health voted to approve the plans dated December 2, 2025 for the Preliminary Subdivision Old Street Extension and Old Derby Connector based on the preliminary and limited information provided.