



Postconstruction Stormwater Management Operation and Maintenance Plan

Hingham Center for Active Living

EDM Studio, Inc.

45 South Main Street, 2nd Floor
Unionville, Connecticut

Prepared by:

SLR International Corporation

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SLR Project No.: 141.21840.00004

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This document has been prepared by SLR International Corporation (SLR). The material and data in this report were prepared under the supervision and direction of the undersigned.



A handwritten signature in blue ink that reads "Michael R. Gagnon". The signature is written in a cursive style and is positioned above a horizontal line.

Michael R. Gagnon, PE
Principal Civil Engineer



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Acronyms and Abbreviations

BMP	Best Management Practice
MassDEP	Massachusetts Department of Environmental Protection
O&M Plan	Operation and Maintenance Plan



SECTION 1

OPERATION, MAINTENANCE, AND INSPECTION AGREEMENT



STORMWATER MAINTENANCE AGREEMENT

This Stormwater Maintenance Agreement (“Agreement”) is made and entered into this _____ day of _____, 2026, by and between the Town of Hingham (the “Landowner”), and the Town of Hingham, a municipal corporation duly established under the laws of the Commonwealth of Massachusetts, whose address is 210 Central Street, Hingham, Massachusetts 02043 (the “Town”).

WHEREAS, the Landowner is the owner of a certain real property at Bare Cove Park Drive, Hingham, Plymouth County, Massachusetts, shown within Map 77 Block 0 Parcel 1 on the Town of Hingham Assessor’s Map; and

WHEREAS, the Landowner intends to build on and develop the Property for the Center for Active Living Facility; and

WHEREAS, the Landowner is proceeding to build on and develop the property, WHEREAS, the Site Plan known as the Center for Active Living, herein after called the ‘Plan’, which is expressly made a part hereof, as approved or to be approved by the Town, which provides for the conveyance, treatment, and/or detention of stormwater within the confines of the Property; and

WHEREAS, the Town requires that on-site stormwater management facilities as shown on the Plan be constructed and adequately maintained by the Landowner, its successors and assigns.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The on-site stormwater management facilities shall be constructed by the Landowner, its successor and assigns, in accordance with the plans and specifications identified in the Plans and documents reviewed and approved by the Hingham Planning Board.
2. The Landowner, its successors and assigns, shall maintain the stormwater management facilities according to the maintenance schedule described in the **Postconstruction Stormwater Management Operation & Maintenance Plan**, attached hereto as Exhibit A. This includes all pipes and channels built to convey stormwater to the facility, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance is herein defined as good working conditions so that these facilities perform their design functions and so that water quality standards are met in all seasons and throughout the life of the stormwater system. Such repairs or restoration and maintenance shall be in accordance with plans approved by the Hingham Town Engineer.
3. The Landowner, its successors and assigns, hereby grant to the Town, its authorized agents and employees, the right to enter upon the Property and to inspect the Facilities whenever the Town reasonably deems such an inspection to be necessary. The purpose of such inspections shall be to ensure that the Facilities are maintained in proper working conditions to meet design standards and any provisions herein.

4. If, after the notice by the Hingham Town Engineer to correct a violation requiring maintenance of the Facilities, satisfactory corrections are not made by the Landowner within thirty (30) days after receipt of such notice, the Town may perform all necessary work to place the Facilities in proper working condition. The Landowner shall be required to reimburse the Town for any and all reasonable costs incurred to correct a violation within thirty (30) days after such work is performed.
5. This Agreement shall be recorded at the Landowner's expense in the Plymouth County Registry of Deeds and shall constitute covenants running with the land, and shall be binding on the Landowner, its successors and assigns.
6. This Agreement shall be governed by and construed in accordance with the laws of the Commonwealth of Massachusetts.

EXECUTED as an instrument under seal as of the date set forth above.

(landowner)

TOWN OF HINGHAM

Name (print)

Name (print)

Name (sign)

Name (sign)

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

On this ____ day of _____, 2026, before me, the undersigned notary public, personally appeared _____ (landowner), proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on this document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public

SEAL OF NOTARY

My commission expired: _____

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

On this ____ day of _____, 2026, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification, which was _____, to be the person whose name is signed on this document, and acknowledged to me that he signed it voluntarily for its stated purpose.

Notary Public

SEAL OF NOTARY

My commission expired: _____

SECTION 2

POSTCONSTRUCTION STORMWATER MANAGEMENT OPERATION AND MAINTENANCE PLAN



1.0 Contact Information/Responsible Parties

1.1 Operator(s):

The Town of Hingham Public Works
25 Bare Cove Park Drive
Hingham, MA 02043
781-741-1430

1.2 Project Manager(s) or Site Supervisor(s)

Responsible individuals to be determined.



2.0 Good Housekeeping Practices

2.1 Material Handling and Waste Management

No storage of waste or hazardous materials will generally be permitted by the Town of Hingham unless required for specific repairs or maintenance tasks of the facility. Storage of materials and handling will comply with the following requirements:

- All materials shall be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure.
- Products shall be kept in their original containers with the original manufacturer's label.
- Substances shall not be mixed with one another unless recommended by the manufacturer.
- Manufacturers' recommendations for proper use and disposal shall be followed.

Generation of waste is not anticipated from the project after completion.

2.2 Site Maintenance/Cleanup

- The site will be reviewed biannually for any generation of trash or debris that has accumulated. These materials will be collected and disposed of in a proper manner.
- The Town of Hingham will be responsible for scheduling the activity each year.

2.3 Staff Training Program

- Personnel should meet the minimum training requirements to conduct the respective operation and maintenance tasks.
- Personnel should have the required training to effectively carry out the responsibilities of their positions.



3.0 Spill Prevention and Control Plan

3.1 Spill Prevention Control

The following provisions are the material management practices that shall be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff. The site owner or designated contractor will be responsible for preparing a project-area-specific spill control plan in accordance with local and Massachusetts Department of Environmental Protection (MassDEP) regulations. The plan should describe procedures and practices for controlling fuel and hydraulic fluids from machinery. A spill kit consisting of absorbent materials should be available on site in a predesignated location during site construction or for specific postconstruction activities that require the use of construction equipment. At a minimum, this plan should indicate or include the following:

- Reduce stormwater contact if there is a spill.
- Contain the spill.
- Stop the source of the spill.
- Dispose of contaminated material in accordance with manufacturer's procedures and MassDEP regulations.
- Identify responsible and trained personnel.
- Ensure that the spill area is well ventilated.

3.2 Illicit Discharges

All illicit discharges to the stormwater management system are prohibited. These discharges include but are not limited to wastewater, stormwater contaminated by contact with process waste, raw materials, toxic pollutants, hazardous substances, oil, or grease. To my knowledge, there are no existing illicit discharges on the site.

I, _____, hereby certify that I have read and understand that any illicit discharges to the stormwater management system are prohibited.

Signature: _____ Date: _____



4.0 Schedule for Inspection and Maintenance

This inspection and maintenance schedule has been prepared to ensure that the proposed stormwater management facility functions are designed according to the Stormwater Management Policy issued by the MassDEP. The policy defines Stormwater Management Standards as guidelines for stormwater management. The standards address water quality and quantity using non-structural measures, site planning, and Best Management Practices (BMPs). An inspection and maintenance schedule are necessary for the BMPs to continue to function properly and as designed.

During construction, stormwater management facilities will be cleaned/maintained as required based upon inspection. The cleaning and maintenance BMPs during construction include removing sediment, replacing, or repairing any damaged structure or pipe, and ensuring that soil erosion is kept to a minimum. The owner will be responsible for inspection and maintenance during construction.

Best Management Practices

Parking Lot Sweeping

The parking area shall be swept of sediment and debris at least twice per year and more frequently as required. Suggested intervals are in April and October. Do not sweep into storm drains.

Deep Sump Catch Basin

The deep sump catch basins shall be inspected at least four times per year and at the end of the foliage and snow removal seasons. Sediments must also be removed four times per year or whenever the depth of deposits is greater than or equal to one half the depth from the bottom of the invert of the lowest pipe in the basin and after every major storm event.

The following catch basins are located on site:

- CB 11
- CB 13
- CB 19
- CB 20
- CB 23
- CB 24
- CB 26
- CB 27
- CB 35
- CB 36
- CB 39
- CB 40
- CB 42
- CB 43
- CB 44



Yard Drains

All yard drain rim areas shall be kept clear of sediment, trash, and debris. All yard drains shall be inspected and cleaned four times per year. Accumulated sand, dirt and debris shall be disposed of off-site in a proper manner. During warmer periods, the yard drain grates must be kept free of leaves, litter, and debris. During colder periods, the yard drains must be kept free of snow and ice.

The following yard drains are located on site:

- YD 3
- YD 5
- YD 7
- YD 8
- YD 15
- YD 16
- YD 28

Rip-rap Outlets

The area should be inspected at least semi-annually and after substantial rainfall events. The area shall be cleared of all sediment deposits and invasive plant species. Damage and deterioration of the area shall be repaired immediately.

The following rip-rap stone pipe ends are located on site for structures:

- FES 9
- FES 12
- FES 14
- FES 17
- FES 21
- FES 29
- FES 33
- FES 37

Gravel Infiltration Trenches

Infiltration trenches shall be inspected and removed of debris every six months and after every major storm event.

The following infiltration trenches are located on site:

- GT-1
- GT-2
- GT-3
- GT-4
- GT-5
- GT-6



Infiltration Basins & Stormwater Management Basins

Basins shall be inspected twice per year (Spring and Fall) and after every major storm event. Undercut or eroded areas shall be repaired within 30 days of documentation. Infiltration areas shall be inspected for invasive vegetation at least once every six months. Infiltration basins shall be raked along the stone bottom, removed of trash and debris and accumulated organic matter at least twice a year and after every major storm event and at the end of the growing season no later than October 15. Basins shall be mowed regularly with other grass areas to prevent growth of woody vegetation.

The following infiltration basins & stormwater management basins are located on site:

- IB-1
- IB-2
- SWB-1
- SWB-2
- SWB-3
- SWB-4

Rain Gardens

The rain garden shall be inspected monthly for evidence of erosion. Undercut or eroded areas shall be repaired within 30 days of documentation. Detention areas shall be inspected for invasive vegetation at least once every six months. Inspect and remove trash monthly. Rain gardens shall be mowed regularly with other grass areas to prevent growth of woody vegetation. Mulch, fertilize, remove and replace dead vegetation, and prune each Spring.

The following rain garden is located on site:

- RG-1

Stormwater Infiltration Systems

The stormwater infiltration system will be inspected quarterly or more frequently as required. Inspections to the detention system are accessible through the inspection ports from above or the manhole on the end of the system. When the average depth of sediment exceeds 3 inches throughout for the length of the system, then the chambers should be cleaned out with a JetVac process, or approved equal, in accordance with the manufacturer's recommendations.

The following Subsurface Infiltration System is located on site:

- UG-1

Water Quality Units

Water quality units shall be maintained in accordance with manufacturer's guidelines. Inspection shall be performed a minimum of once per year. Water quality units shall be cleaned when pollutant removal capacity is reduced by 50% or more, or when the pollutant storage capacity is reduced by 50% or more. Material removed from the device shall be disposed of in accordance with MassDEP guidelines and other local, state, and federal requirements by a properly licensed contractor.

The following water quality units are located on site for manholes:

- DMH 18
- DMH 22



- DMH 34
- DMH 38

Stormwater Manholes and Piping

All outlet structures and pipes shall be inspected at least twice annually. Debris shall be cleaned out as required.

The following manhole structures are located on site:

- DMH 1
- DMH 2
- DMH 4
- DMH 6
- DMH 10
- DMH 25
- DMH 30
- DMH 31
- DMH 32
- DMH 41

Winter Snow Removal and Use of De-icing Agents

Minor to moderate amounts of snow will be stored in the Western portion of the site in the grassed areas depicted in the Appendix. Larger amounts of snow will be removed from the site. Stormwater management areas shall not be utilized for snow storage. De-icing materials such as sodium chloride, calcium chloride, chemically treated abrasives, or other chemicals used for the removal of snow or ice on roads are prohibited on site.



INSPECTION AND MAINTENANCE LOG

Item	Date of Inspection and Required Maintenance	Maintenance to be Provided/Comments	Date Maintenance Complete
Street Sweeping			
Deep Sump Catch Basin			
Subsurface Infiltration System			
Stormwater Quality Catch Basins/ Manholes/ Outlet Structures and Piping			

Inspected by: _____ Date: _____





Appendix A BMP Location Map

Postconstruction Stormwater Management Operation and Maintenance Plan

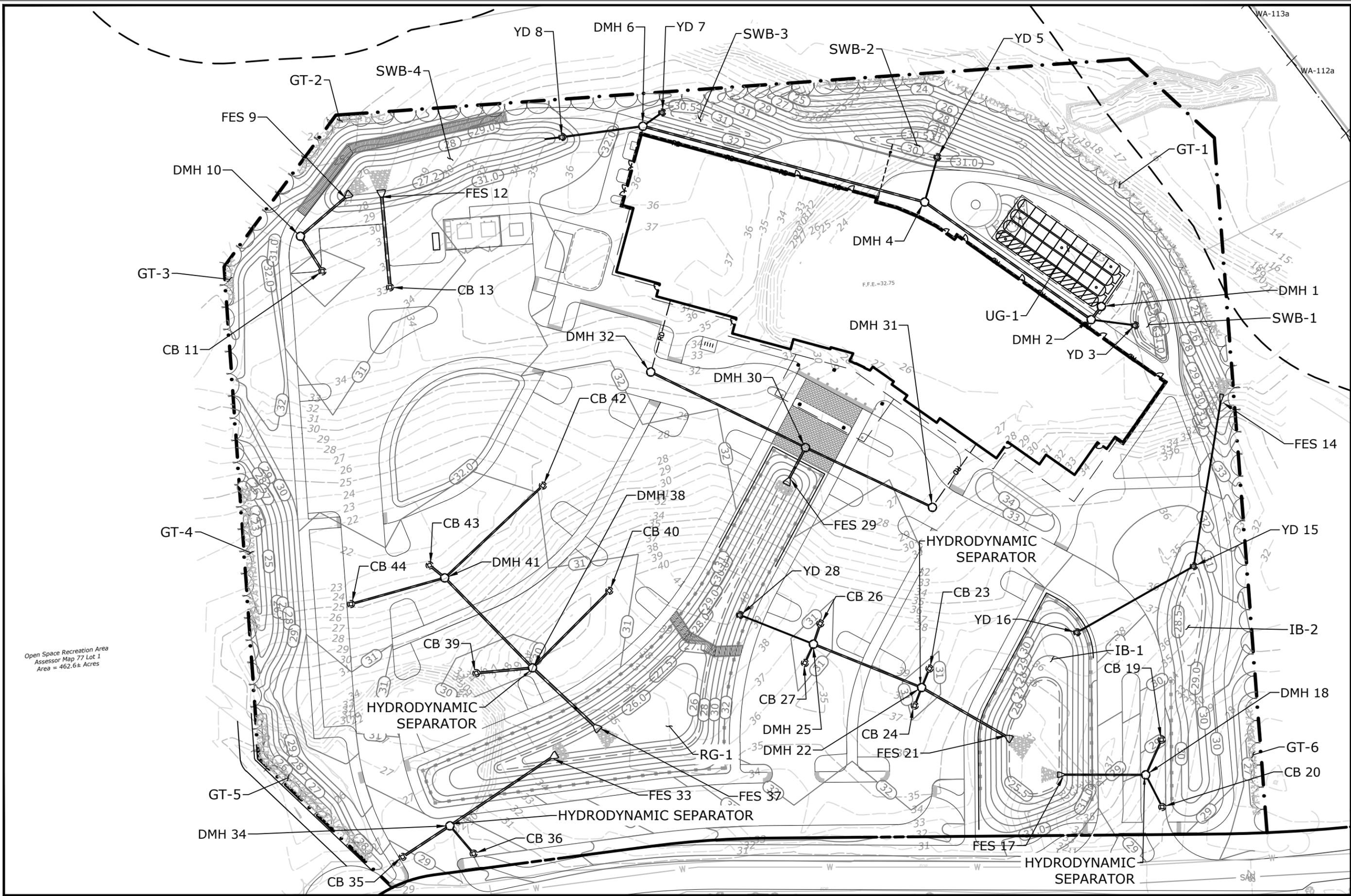
Hingham Center for Active Living

EDM Studio, Inc.

SLR Project No.: 141.21840.00004

February 3, 2026

Drawings: WA-120DESIGN\21840.00004-DE-CAO\NONPLANSET\H181153C - BMP LOCATION MAP.DWG Layout Tab:11X17
Plotted by: JSARVER On this date: Tue, 2026 February 3 - 12:01pm



Open Space Recreation Area
Assessor Map 77 Lot 1
Area = 462.6± Acres

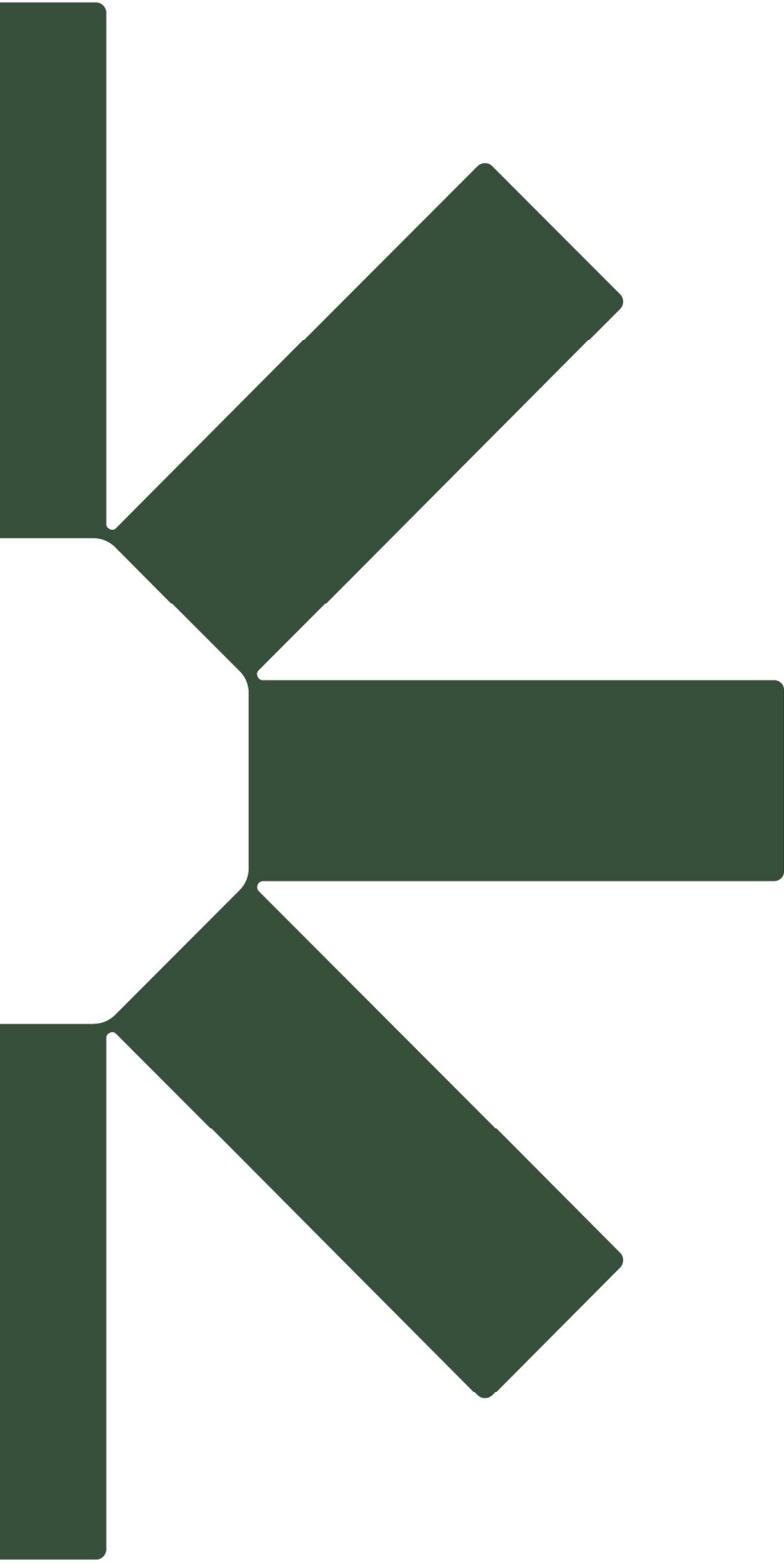

SLR
67 HUNT STREET, SUITE 203-C
HINGHAM, MA 01931-0203
SLRCONSULTING.COM

REVISIONS

BMP LOCATION MAP
HINGHAM CENTER FOR ACTIVE LIVING
BARE COVE PARK DRIVE
HINGHAM, MA

DESIGNED: JLS	DRAWN: JLS	CHECKED: JLS
SCALE: 1"=50'		
DATE: FEBRUARY 3, 2026		
PROJECT NO: 21840.00004		
BMP		

SHEET NO.



Making Sustainability Happen