



Hingham Center for Active Living (HCAL)

Special Permit A2 and Site Plan Review Applications

Public Hearing #1

January 13, 2026

Project Team:

Landscape Architecture:
Mark Arigoni, PLA (SLR)

Engineering:
Andrew Goralski, PE (SLR)
Nick Havan, PE, PTOE, ENV SP (SLR)
JR Frey, PE (Town Engineer)

Architecture:
Chris Wante, AIA (EDM Studio)

□ Project Site Overview:

- Location
- Layout
- Landscaping
- Lighting

□ Project Engineering & Architecture:

- Stormwater & Utilities
- Traffic
- Architecture



- 1 PARCEL BOUNDARY
- 2 DEVELOPMENT AREA
- 3 PROPOSED HCAL BUILDING
- 4 OPEN SPACE (APPROX. 500 ACRES)
- 5 RECREATIONAL FIELDS

HINGHAM CENTER FOR ACTIVE LIVING - HINGHAM, MASSACHUSETTS

SLR





- 1 5.4 ACRE PROJECT SITE
- 2 EXISTING BUILDING TO BE DEMOUSHED
- 3 EXISTING BARE COVE PARK DRIVE
- 4 EXISTING PARKING FOR BARE COVE PARK
- 5 EXISTING FIRE MUSEUM
- 6 EXISTING MODEL RAILWAY CLUB
- 7 EXISTING PARK & MODEL RAILWAY CLUB PARKING
- 8 EXISTING STORAGE BUILDING
- 9 ENTRANCE GATE TO BARE COVE PARK



HINGHAM CENTER FOR ACTIVE LIVING - HINGHAM, MASSACHUSETTS
*SLR





HINGHAM CENTER FOR ACTIVE LIVING - HINGHAM, MASSACHUSETTS
*SLR





- 1 HINGHAM CENTER FOR ACTIVE LIVING (HCAI)
- 2 DROP-OFF LANE WITH PORTE COCHERE WITH PAVER SURFACE
- 3 PATIO AREA
- 4 LAWN
- 5 GARDEN AREA
- 6 RAISED BOARDWALK
- 7 RETAINING WALL
- 8 CONCRETE SEATING WALL
- 9 ENTRANCE SIGN
- 10 MAIN PARKING (140 SPACES INCLUDING 12 ACCESSIBLE SPACES & 32 EV SPACES)
- 11 3 BUS/VAN PARKING SPACES
- 12 TRASH & RECYCLING ENCLOSURE
- 13 GENERATOR PAD
- 14 EV CHARGER TRANSFORMER
- 15 DELIVERY LOAD/UNLOAD ZONE
- 16 PEDESTRIAN SIDEWALK
- 17 RAIN GARDEN/WATER QUALITY FEATURES
- 18 WALKING FITNESS LOOP
- 19 RE-PAVED AND RE-STRIPED BARE COVE PARK DRIVE & PARKING AREAS
- 20 CONNECTION TO TUCKER SWAMP TRAIL
- 21 WETLAND BOUNDARY
- 22 WETLAND BUFFER ZONE BOUNDARY
- 23 EXISTING BUILDING TO BE DEMOLISHED
- 24 EXISTING FIRE MUSEUM
- 25 EXISTING MODEL RAILWAY CLUB
- 26 ENTRANCE TO BARE COVE PARK

HINGHAM CENTER FOR ACTIVE LIVING - HINGHAM, MASSACHUSETTS
*SLR

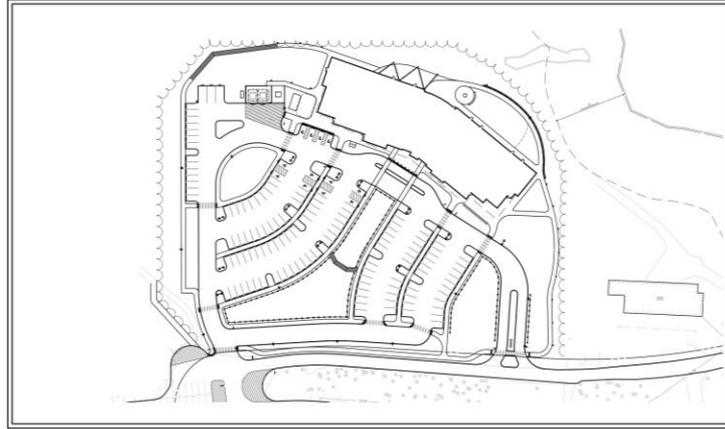


Detailed Site Plans

HINGHAM CENTER FOR ACTIVE LIVING

BARE COVE PARK DRIVE
HINGHAM, MA

REGULATORY SUBMISSION
DECEMBER 9, 2025



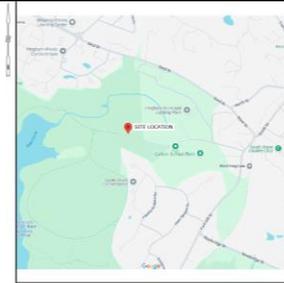
PROJECT SITE VICINITY MAP:



PREPARED BY:



42 ADAMS STREET, SUITE 200-1
BOSTON, MA 02116
617.452.2200
WWW.SLR.COM



LOCATION MAP:



PREPARED FOR:

edmSTUDIOS
45 SOUTH MAIN STREET
UNIONVILLE CONNECTICUT 06085

LIST OF DRAWINGS

NO.	NAME	TITLE
01	TM	TITLE SHEET
02	SHEET 1 OF 2	EXISTING CONDITIONS BARE COVE PARK DRIVE
03	SHEET 2 OF 2	EXISTING CONDITIONS BARE COVE PARK DRIVE
04	OSP	OVERALL SITE PLAN
05	RM	SITE PLAN - REMOVALS
06	LA	SITE PLAN - LAYOUT
07	SPM	SIGNAGE & PAVEMENT MARKING
08	LS	SITE PLAN - LANDSCAPING
09	GR	SITE PLAN - GRADING
10	UT	SITE PLAN - UTILITIES
11	SE-1	SEDIMENT AND EROSION CONTROL PLAN
12	SE-2	SEDIMENT AND EROSION CONTROL DETAILS AND SPECIFICATIONS
13	SD-1	SITE DETAILS
14	SD-2	SITE DETAILS
15	SD-3	SITE DETAILS
16	SD-4	SITE DETAILS
17	SD-5	SITE DETAILS
18	SD-6	SITE DETAILS
19	SD-7	SITE DETAILS
20	SD-8	SITE DETAILS
21	VH	VEHICLE TURNING MOVEMENT - HINGHAM FIRE TRUCK
22		PHOTOMETRIC PLAN BY APEX LIGHTING SOLUTIONS
23-26		ARCHITECTURAL PLANS BY EDM STUDIO

ZONING DATA TABLE
ZONE: OFFICIAL AND OPEN SPACE DISTRICT
USE: III-A.3.5 PUBLIC BUILDING (HCAL) FOR PUBLIC RECREATION

	REQUIRED	PROVIDED
LOT AREA	500	452 SQ. FEET
PARKING	30 FEET MINIMUM	3,072 FEET (TOTAL) (SINGLE CODE PARK DRIVE)
FRONT YARD	40 FEET MINIMUM	300 FEET
REAR YARD	40 FEET MINIMUM	300 FEET
SIDE YARD	40 FEET MINIMUM	1740 FEET
SCREEN FENCE	30 FEET TALL FENCE	0 FEET
BUILDING HEIGHT	30 FEET MAXIMUM	<30 FEET
BUILDING COVERAGE	50% MAXIMUM	0.25%
LANDSCAPED UNIMPAVED AREA	15% MINIMUM	30.3%

FLY-UP AREA AND BOUNDARY AREAS OR PARALLEL HINGHAM USE INFORMATION.
PROVIDED AREA INDICATORS ARE PERMITTED WITHIN THE GREEN YARD; PARKING IS NOT PERMITTED OR PROVIDED WITHIN THE GREEN YARD.

PARKING DATA TABLE

REQUIRED PARKING	PROVIDED PARKING
500 SPACES	450 SPACES (12 AVAILABLE FROM DRIVEWAY, 200 AVAILABLE FROM DRIVEWAY)
100% ADEQUATE PROVISIONING: 1 SPACE / 2 PERSONS AT CAPACITY USE + 400 PERSON CAPACITY = 100 SPACES	



Layout Plan

Adequate, Efficient, and Safe Vehicular & Pedestrian Circulation.

All paved areas are **Accessible** (less than 5%)

128 Standard Parking Spaces & 12 Accessible Parking Spaces (140 Total)

1/3 mile Accessible Loop Perimeter Walkway, including Boardwalks

Connection to Tucker Swamp Trail

Outdoor Amenity Areas (Yoga Lawn, Garden, Patio)

Designated Service, Delivery, and Utility Area





SLR
SUSTAINABLE LANDSCAPE ARCHITECTURE
PLANNING & CONSULTANTS

DATE	BY

SITE PLAN - LAYOUT

HIGHAM CENTER FOR ACTIVE LIVING
 1000 BANK COVE PARK DRIVE
 HIGHAM, MA

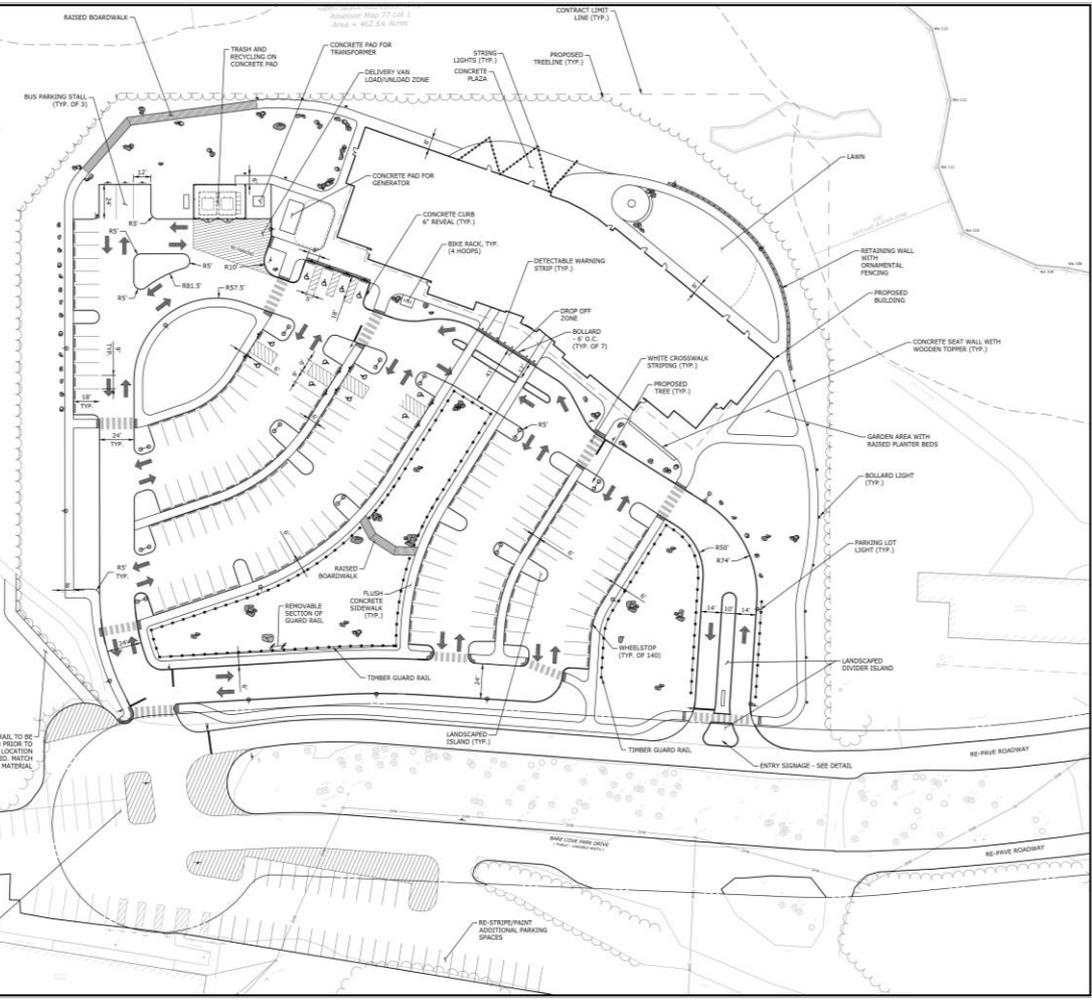
AWG	DATE	TD
	11-30	
	DECEMBER 9, 2025	
	21840.00004	
	26 OF 26	

LA

- SITE FEATURES - NARRATIVE**
- PARKING NOTES:**
- 128 PARKING SPACES TOTAL
 - 12 ACCESSIBLE/VAN SPACES
 - 4 (6) ACCESSIBLE SPACES
 - 3 WITH EV CHARGER
 - 3 WITH CONDUIT CONNECTION
 - 128 STANDARD SPACES
 - 32 EV SPACES (27%)
 - 14 WITH EV CHARGER
 - 18 WITH CONDUIT CONNECTION
- LAYOUT NOTES**
1. SEE INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR MAPS AND DATA THAT HAVE BEEN PREPARED AND SUPPLIED BY OTHERS.
 2. CONCRETE SIDEWALKS, ENTRY AREAS, AND TERRACES SHALL INCORPORATE EXPANSION JOINTS, SCORING JOINTS, AND CONTRACTION JOINTS PER THE SPECIFICATIONS AND DETAILS. TYPICALLY NO MORE THAN 1-4" SQUARE FEET SHALL CONSTITUTE A CONTIGUOUS SLAB.
 3. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS AND ASSOCIATED ARCHITECTURAL WALLS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 4. ALL PROPOSED CURBS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBS WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE AMENITY.
 6. SITE LIGHTS DEPICTED WITH IN LAWN/LANDSCAPE AREAS SHALL MAINTAIN A 4"-6" FOUNDATION RISEL MAXIMUM. SITE LIGHTS DEPICTED IN PARKING LOTS SHALL HAVE A 3" EXPOSED HEIGHT CONCRETE FOUNDATION.
 7. WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.

- EXISTING CONDITIONS LEGEND**
- CONTRACT LIMIT LINE I.C.A.
 - PROPERTY LINE
 - ADJUTMENT LINE
 - CURB
 - EDGE OF PAVEMENT
 - CHAINLINK FENCE
 - TREE LINE
 - WETLAND FLAG
 - WETLAND
 - OVERHEAD WIRE
 - STORM PIPE
 - GAS LINE
 - UTILITY/LIGHT POLE
 - UTILITY POLE
 - CATCH BASIN
 - GUY POLE
 - GUY WIRE
 - HYDRANT
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - WATER VALVE
 - HEAD WALL
 - CABLE HANDHOLD
 - UTILITY BOX
 - POST
 - SIGN
 - ROLLARD
 - PLANKLE
 - TREE
 - SHRUB
 - STONE

- MATERIALS LEGEND**
- DETECTABLE WARNING STRIP
 - CURB (CONCRETE)
 - TAPER CURB
 - RETAINING WALL
 - GATES
 - TIMBER GUARDRAIL
 - PARKING LOT LIGHT
 - BOARDWALK
 - SIEN
 - CROSSWALK STRIPING
 - STOP BAR
 - PAVEMENT ARROW
 - DOUBLE WHITE LINE
 - BOULDERS



RE-PAVE AND RE-STRIP
BASE COVE PARK DRIVE
FOR IMPROVED SAFETY
CIRCULATION

Lighting Plan

Detailed Site Photometric Analysis (**less than 0.25** light trespass from development area limits)

All Sustainable, LED, Dark Skies Compliant Fixtures

18' High Max. Fixture Mount on Site Lighting (20' allowed)



20-30 BEAVER ROAD, WETHERFIELD, CT 06099
TELEPHONE: 860-632-8766 / WWW.APEXCT.COM

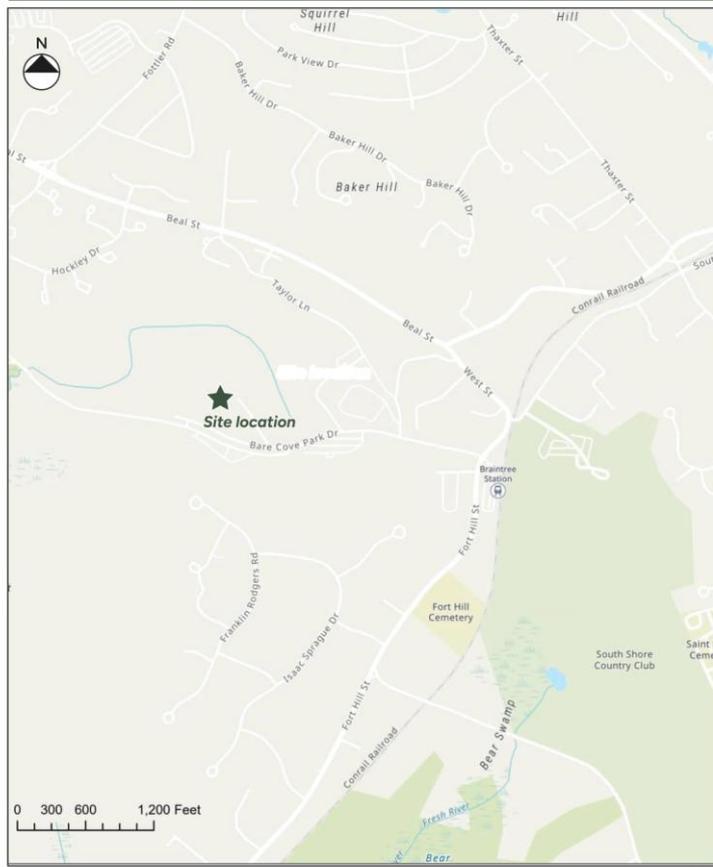


Figure 1
Locus Map

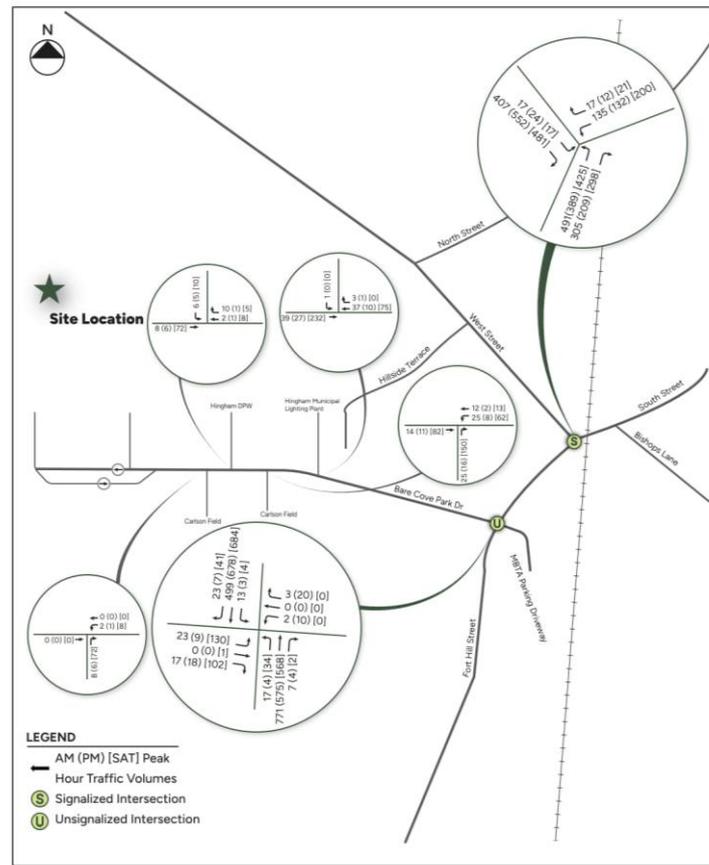


Figure 2
2025 Existing Peak Hour Volumes



Traffic Analysis





HCAL Mission Statement

"The Hingham Center for Active Living (HCAL) supports the independence and ongoing personal development of Hingham's population 60 and older, advocates for their needs and works to enhance the quality of their lives."

Floor Plan



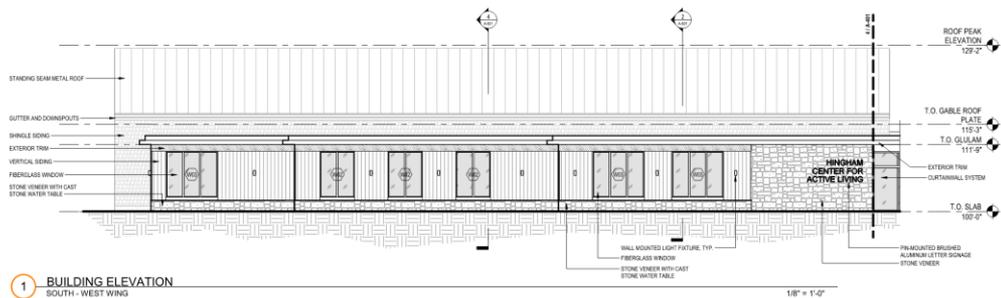


Massing Concept

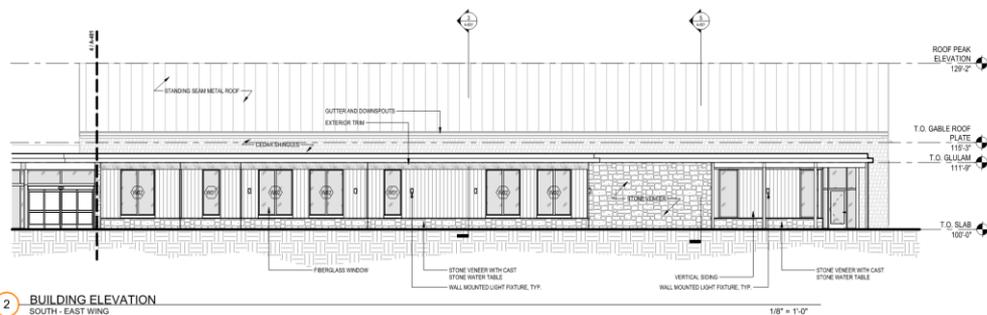




Exterior Elevations



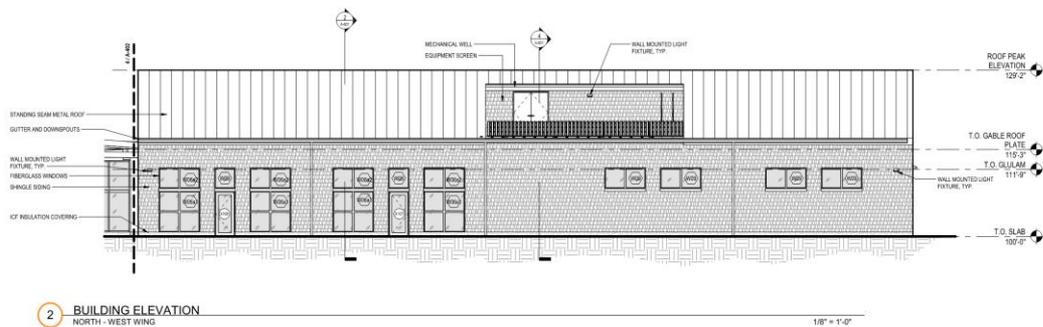
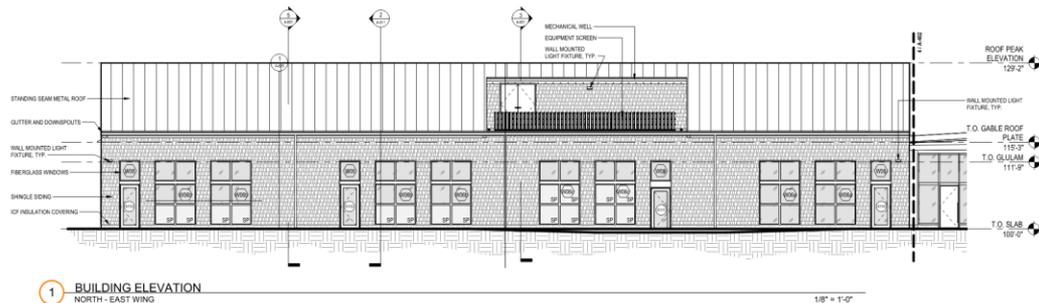
1 BUILDING ELEVATION
SOUTH - WEST WING



2 BUILDING ELEVATION
SOUTH - EAST WING

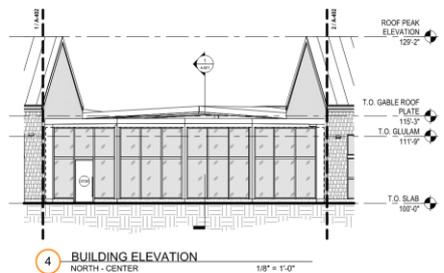
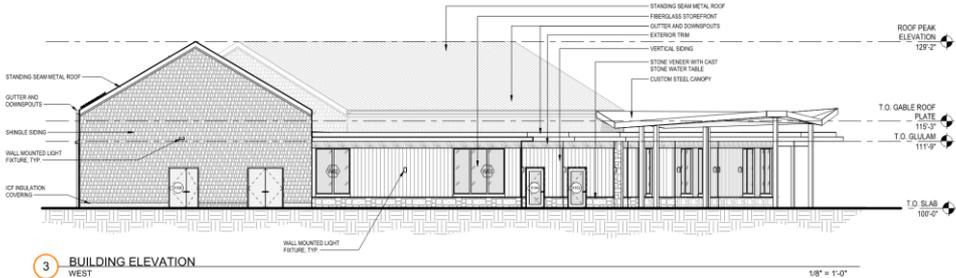


Exterior Elevations





Exterior Elevations





Exterior Renderings



VIEW OF DRIVE ENTRY



Exterior Renderings





Exterior Renderings



VIEW OF DROP OFF CANOPY

ecm **STUDIO**



Exterior Renderings





Exterior Renderings





Exterior Renderings





Exterior Materials

